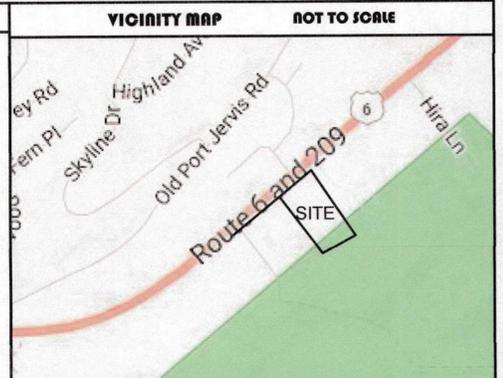




SYMBOLS

(THIS IS A STANDARD LEGEND. NOT ALL ITEMS ARE ON THE SURVEY.)

● MONUMENT FOUND	▲ SPOT LIGHT	⊕ WATER MANHOLE
○ MONUMENT TO BE SET	⚡ POWERPOLE	⊖ WATER VALVE
⊕ BENCHMARK TOPO	— GUY WIRE	⊕ WATER METER
(R) RECORD DATA	☀ LIGHT POLE	⊕ HYDRANT / FDC
(S) SURVEYED DATA	⚡ STREET LIGHT POLE	⊕ GAS MANHOLE
R/W RIGHT OF WAY	⊕ ELEC. TRANSFORMER	⊖ GAS VALVE
SBL SET BACK LINE	⊕ AIR CONDITIONER	⊕ GAS METER
RCP REINFORCED CONC PIPE	⊕ ELEC. MANHOLE	⊕ UNDERGROUND GAS MARKER
CMP CORRUGATED METAL PIPE	⊕ ELECTRIC METER	⊕ TELEPHONE MANHOLE
PVC PLASTIC PIPE	⊕ CABLE BOX	⊕ PAY PHONE
HDPE HIGH DENSITY POLYETHYLENE PIPE	⊕ UNDERGROUND CABLE MARKER	⊕ TELEPHONE BOX
CIP CAST IRON PIPE	⊕ TRAFFIC POLES	⊕ UNDERGROUND TELEPHONE MARKER
DIP DUCTILE IRON PIPE	⊕ TRAFFIC SIGNAL	⊕ FLAG POLE
L/S LANDSCAPING	⊕ TRAFFIC MANHOLE	⊕ BOLLARD
☀ DECIDUOUS TREE	⊕ TRAFFIC SIGNAL BOX	⊕ BORE HOLE
☀ EVERGREEN TREE	⊕ SEWER MANHOLE	⊕ MONITORING WELL
U.G. UNDER GROUND	⊕ CLEAN OUT	⊕ MAIL BOX
— C CABLE TELEVISION LINE	⊕ STORM DRAIN MANHOLE	⊕ SIGN
— E ELECTRICAL LINE	⊕ STORM INLET	⊕ METAL TANK COVER
— G GAS LINE	⊕ CURB INLET	⊕ AIR COMPRESSOR
— T TELEPHONE LINE	⊕ ROUND STORM INLET	
— W WATER LINE	⊕ UNKNOWN MANHOLE	
— OH OVERHEAD ELECTRIC WIRE		



SITE DATA

- PROPERTY IS KNOWN AS PARID 113.02-01-29 IN THE TOWNSHIP OF MILFORD, PIKE COUNTY, PENNSYLVANIA.
- LOT AREA = 132,496 S.F. OR 3.0417 AC.
- NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED KNOWN TO THIS SURVEYOR. NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- VERTICAL DATUM = NAVD 88 . BENCHMARK - TRAVERSE SPIKE 471.21
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THIS SURVEY.
- TOPOGRAPHIC INFORMATION SHOWN HEREON TAKEN FROM GROUND SURVEY PERFORMED BY VALLEY LAND SERVICES, LLC. DATE OF FIELD SURVEY = JUNE 5, 2023.
- THIS PLAN IS VALID ONLY WHEN SIGNED IN COLORED INK AND EMBOSSED WITH AN ORIGINAL SEAL AND WAS PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARD OF ACCURACY OF THE STATE IN WHICH THE PROJECT IS LOCATED.
- THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THIS SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
- COPYRIGHT ©2023, VALLEY LAND SERVICES, LLC. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED, OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF THE SURVEYOR. COPIES OF THIS PLAN WITHOUT AN ORIGINAL SEAL ARE NOT VALID.
- IN RESPONSE TO ALTA/NSPS TABLE A ITEM 11a, THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APURTENANCES AND PLANS AND/OR REPORTS PROVIDED BY THE CLIENT.

LEGAL DESCRIPTION

ALL THAT CERTAIN piece, parcel or tract of land situate, lying and being in the Township of Milford, County of Pike, and State of Pennsylvania, more particularly bounded and described as follows:

BEGINNING at an iron bar in the Southerly right-of-way of U.S. Routes 6 and 209 that runs from Milford to Matamoras, said point of beginning being located North 62 degrees 10 minutes 54 seconds East 400 feet from the line of lands of Julio A. Santos Farm; thence running along the Southerly line of U.S. Routes 6 and 209, North 62 degrees 10 minutes 54 seconds East 278.37 feet to an iron bar; thence cutting lands of the Grantor, South 22 degrees 44 minutes 28 seconds East 528.85 feet to an iron bar in the line of land of the United State of America; thence along same, South 73 degrees 16 minutes 32 seconds West 250.55 feet to an iron bar; thence cutting lands of the Grantor, North 26 degrees 06 minutes 25 seconds West 478.78 feet to the point and place of BEGINNING.

CONTAINING 3.041 acres more or less as surveyed by Victor E. Orben, Registered Surveyor, by Drawing No. EE-123, dated November 2, 1981. BEING TAX MAP NO. 113.02-01-29

BEING the same premises which Saeeda Mahmud, single, by Deed dated October 23, 2020 and recorded October 28, 2020 in Pike County at Record Book 2624 Page 1640, granted and conveyed unto Milford Farmhouse, LP, in fee.

Being the same tract of land described in a Title Report provided by FIRST AMERICAN TITLE INSURANCE COMPANY, Commitment No. NCS-1168138-MICH, dated February 24, 2023.

- ### SCHEDULE B EXCEPTIONS
- FIRST AMERICAN TITLE INSURANCE COMPANY, Commitment No. NCS-1168138, dated FEBRUARY 24, 2023.
- Subject to all matters shown on the Plan as recorded in the Recorder's Office of Pike County, Pennsylvania in Plat Book 50 Page 111. PLOTTED ON SURVEY
 - Rights and privileges as set forth in Deed Book 27 Page 195, and Deed Book 30 Page 639. NOT PLOTTED ON SURVEY; BLANKET IN NATURE COVERING THE PROPERTY
 - Consent to Erection of Fence as set forth in Deed Book 56 Page 279. NOT PLOTTED ON SURVEY. LOCATION CAN NOT BE DETERMINED BY RECORD DOCUMENT
 - Rights granted to Blue Ridge Cable TV, Inc. as set forth in Deed Book 897 Page 312. NOT PLOTTED ON SURVEY. LOCATION CAN NOT BE DETERMINED BY RECORD DOCUMENT
 - Reciprocal Easement Agreement with Covenants and Restrictions by and between Milford DG, LLC and Saeeda Mahmud as set forth in Record Book 2507 Page 739. PLOTTED ON SURVEY
 - Waterline Easement Agreement by and between Milford DG, LLC and Saeeda Mahmud as set forth in Record Book 2507 Page 750. PLOTTED ON SURVEY
 - Temporary Construction Easement Agreement by and between Milford DG, LLC and Saeeda Mahmud as set forth in Record Book 2507 Page 760. PLOTTED ON SURVEY
 - Notwithstanding that the description of the Land may contain a statement as to its acreage and/or square footage and notwithstanding coverage as may be provided by an endorsement, this Policy does not insure against loss or damage sustained by reason of the failure of the Land to comprise or constitute a specific amount of acreage or square footage.

ZONING

The surveyor was not provided with zoning information by the insurer pursuant to Table A item 6 (a)(b).

SURVEYOR'S CERTIFICATION

TO: AUTOZONE P6887; FIRST AMERICAN TITLE INSURANCE COMPANY

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6, 7a, 8, 9, 11a, and 13 of Table A thereof.

FIELD DATE JUNE 5, 2023

Surveyor's Signature: *Gregory C. Noll*

Gregory C. Noll
Professional Land Surveyor SU-075048
In the State of Pennsylvania
Date of Survey: June 05, 2023
Date of Last Revision: July 03, 2023

Survey Performed By:
Valley Land Services, LLC
4383 Hecktown Road, Suite B
Bethlehem, PA 18020
Phone 610-365-2907
Fax 610-365-2908
Email: gcnoll@valleylandservices.com
Project No. V230141

Professional Seal: GREGORY C. NOLL, PROFESSIONAL LAND SURVEYOR, PENNSYLVANIA, SU075048

ZONING DATA

DEVELOPMENT DISTRICT (DD):

	PER ORD.	EXISTING
MINIMUM LOT AREA:	1 ACRE	3.0417 ACRE
MINIMUM LOT WIDTH:	150 FEET	250 FEET
FRONT YARD SETBACK:	35 FEET	50 FEET
SIDE YARD SETBACK:	25 FEET	40 FEET
REAR YARD SETBACK:	25 FEET	50 FEET
MAXIMUM BUILDING HEIGHT:	45 FEET	27 FEET

SIGNIFICANT OBSERVATIONS

(A) FENCE CROSSES PROPERTY LINE UP TO 0.5'

FLOOD NOTE

BY GRAPHICAL REPRESENTATION ONLY THIS PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (UNSHADED) AS SHOWN ON FLOOD INSURANCE RATE MAP 42103C0333 C, COMMUNITY PANEL NO. 422642 0333 C WHICH HAS AN EFFECTIVE DATE OF OCTOBER 6, 2000 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. FIELD SURVEYING WAS NOT PERFORMED TO DETERMINE THIS ZONE. AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR AN AMENDMENT FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).

TYPE OF SURVEY: ALTA/NSPS LAND TITLE SURVEY

VALLEY LAND SERVICES, LLC
4383 HECKTOWN ROAD
BETHLEHEM, PA 18020
Phone (610) 365-2907 Fax (610) 365-2908
NJ Certificate of Authorization: 246A28339300

SITE ADDRESS: 550 RT 6 & 209, TOWNSHIP OF MILFORD, PIKE COUNTY, PENNSYLVANIA.

CLIENT: AUTOZONE P6887

JOB NO: V230141	DRAWN BY: CT/EMV	APPROVED BY: BJF
DATE: JULY 03, 2023.		
REVISIONS:		
No.	DATE	DESCRIPTION

0' 30' 60' 90'

SCALE: 1" = 30'

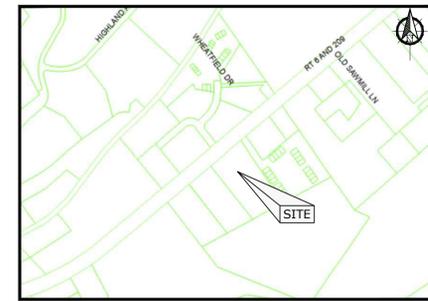
SHEET 1 OF 1

1

ZONING DISTRICT DD
(DEVELOPMENT DISTRICT)
NOW OR FORMERLY
SS HOLDINGS, LLP
DEED BOOK 2559, PAGE 2583
INSTRUMENT NO. 20180007393
TAX MAP NUMBER: 113.02-01-27

LOT 2A
LOT IMPROVEMENT/SUBDIVISION
PREPARED FOR
SS HOLDINGS, LLP
PLAT BOOK 51, PAGE 145

ZONING DISTRICT DD
(DEVELOPMENT DISTRICT)
NOW OR FORMERLY
MILFORD TOWNGREEN ASSOCIATION
DEED BOOK 4305, PAGE 134
TAX MAP NUMBER: 113.02-01-33



SITE LOCATION MAP
SCALE: 1" = 600'

LEGEND OF SYMBOLS	
Contour Line	--- 470 ---
Water Line	W W W W
Gas Line	G G G G
Overhead Electric, Telephone & Cable TV Line	E/T/C
Underground Electric Line	UE UE UE
Storm Sewer	SS SS SS
Sanitary Sewer	SA SA SA
Easements	--- --- ---
Setback Line	--- --- ---
Chain Link Fence	X X X X
Wooden/Vinyl Fence	□ □ □ □
Tree Line	--- --- ---
Street Light	○ Iron Pin Found
Septic Tank Lid	⊗ Gas Meter
Cleanout	⊕ Gas Valve
Sign	⊖ Water Valve
Spot Elevation	+471.43 Fire Hydrant
Benchmark	⊕ Water Well Lid
Right-of-Way	R/W Electric Meter
Terra Cotta	T.C. Utility Pole
Polyvinyl Chloride	PVC Guy Wire
High Density Polyethylene	HDPE Lamp Post
Finished Floor Elevation	F.F.E. Light Pole
Corrugated Metal Pipe	CMP Trees
Reinforced Concrete Pipe	RCP Asphalt
Ductile Iron	DI Concrete
	Gravel
	Rip-Rap

GENERAL NOTES

- Boundary information shown hereon is based upon an ALTA/NSPS Land Title Survey prepared by Valley Services, LLC dated July 03, 2023, bearing Job No. V230141.
- The underground utilities shown on this survey have been located from field survey information, markings provided by the utility companies and existing drawings obtained from utility companies. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated, although he does certify that they are located as accurately as possible from available information.
- Contour Interval = 1'. Elevations shown hereon are based upon GPS observation taken on July 25 & 26, 2023, and are to the North American Vertical Datum of 1988 (NAVD88)(GEOID12a).
- The basis for the legal right-of-way line for U.S. Route 6 & 209 is taken from Drawings for Construction and Condemnation of Right-of-Way, Route No. 8, Section No. 2, in Pike County, Approved October 30, 1934, Sheets 4 of 7 & 5 of 7.
- Due to this site having frontage along state maintained highway U.S. Route 6 & 209, a Highway Occupancy Permit is required if access to the site is desired or altered. The Pennsylvania Department of Transportation shall be contacted in regard to the permit. Their contact information is:
Pennsylvania Department of Transportation
Engineering District 4-0
55 Keystone Industrial Park
Dunmore, PA 18512
(570) 963-4061
Permit Office

FLOOD ZONE NOTE

By graphic plotting only, this site is located in Zone X of the Flood Insurance Rate Map 42103C033 C, Milford Township Community No. 422642, Panel 0333, Suffix C, bearing an effective date of 10/06/2000 and is not in a special flood hazard area.

Dig Serial No.: 20232001230
Design Serial No.: 20232001305

CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE - STOP CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776

GRAPHIC SCALE
20 0 20 40 80
(IN FEET)
1 inch = 20 ft.

NO.	DATE	REVISIONS	DESCRIPTION
1	08/14/23		ORIGINAL SUBMITTAL
2	09/23/23		UPDATED UTILITIES CONTACTS
3	02/29/24		UPDATED ZONING CONTACT

THIS PLAN OR PART OF SURVEY IS ONLY VALID TO THE PARTIES
WHOSE NAMES ARE SPECIFICALLY MENTIONED HEREON AND NO LIABILITY
IS MADE OR IMPLIED THAT ALL ENCUMBRANCES AFFECTING THIS
PROPERTY HAVE BEEN SHOWN.

THIS PLAN OR PART OF SURVEY IS ONLY VALID IF ASSUMED BY
THE PARTIES HERETO THAT THE SURVEYOR HAS BEEN LICENSED BY
THE STATE OF PENNSYLVANIA AND IS A MEMBER OF THE PROFESSIONAL
SOCIETY OF PROFESSIONAL SURVEYORS OF PENNSYLVANIA.

ANY ALTERATIONS TO THIS PLAN OR PART OF SURVEY MADE AFTER
IT HAS BEEN SEALED AND SIGNED BY A LICENSED PROFESSIONAL
SURVEYOR SHALL BE AT THE SURVEYOR'S SOLE RISK AND LIABILITY.

MMDM
SURVEYORS & ENGINEERS, LLC
Surveyors • Engineers • Site Planners
375 Northgate Drive
York, PA 17403
Ph: (724) 934-2810 Fax: (724) 934-2811
mmsurvey@mdmllc.com
www.mdmllc.com

AutoZone Store No. 6887
550 U.S. Route 6
Township of Milford, Pike County
Commonwealth of Pennsylvania
EXISTING CONDITIONS SURVEY

PROFESSIONAL SURVEYOR
FORWARD SIGNED
PENN. REG. NO. 049396-R
JAL

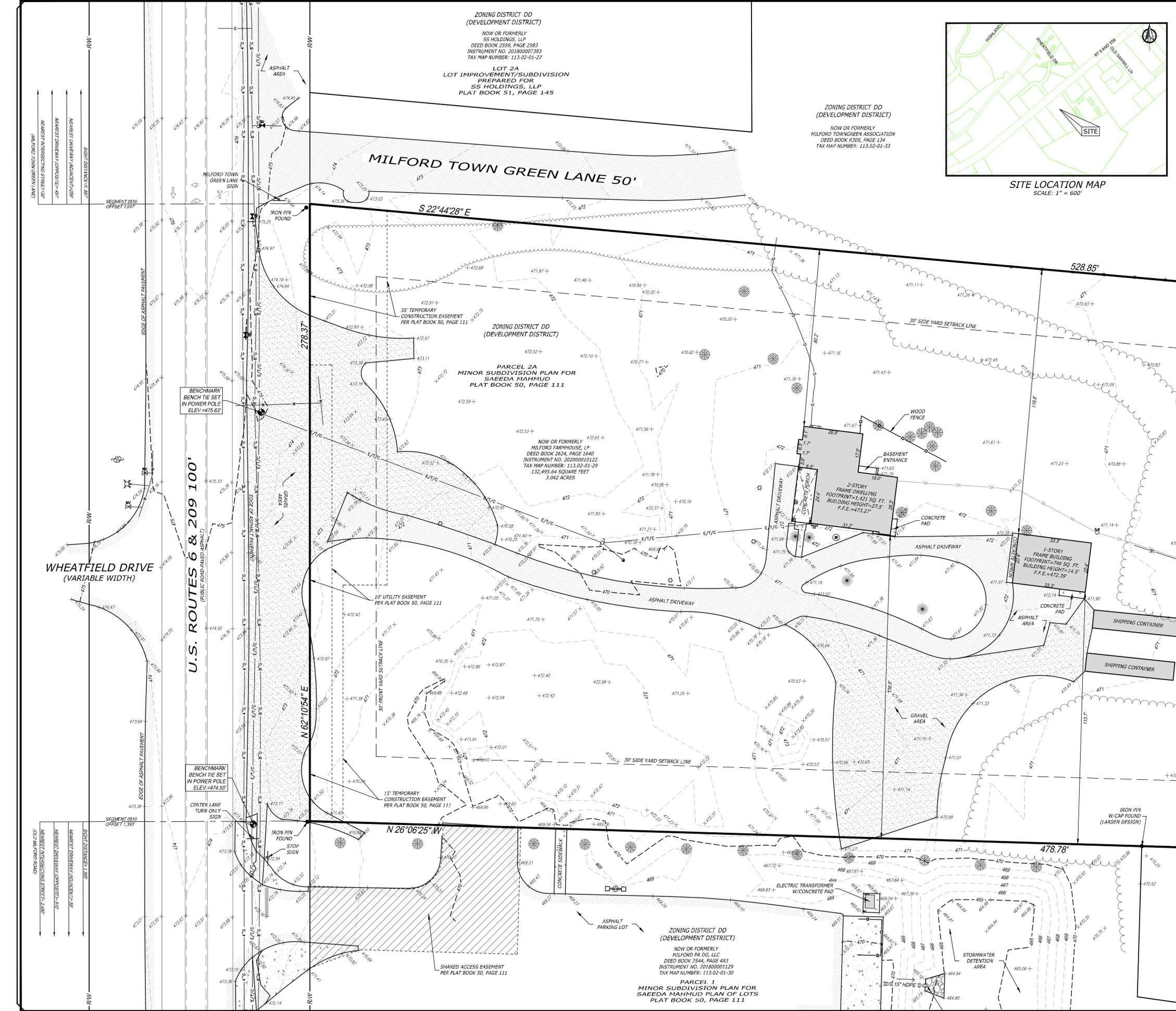
SCALE:	1" = 20'
DATE:	02/25/24
DRAWN BY:	JAL
CHK'D BY:	HGM

ZONING DISTRICT DD
(DEVELOPMENT DISTRICT)
PARCEL 2A
MINOR SUBDIVISION PLAN FOR
SAEEDA MAHMUD
PLAT BOOK 50, PAGE 111

NOW OR FORMERLY
MILFORD FARMHOUSE LP
DEED BOOK 2624, PAGE 1640
INSTRUMENT NO. 202000010122
TAX MAP NUMBER: 113.02-01-29
132,495.64 SQUARE FEET
3.042 ACRES

ZONING DISTRICT DD
(DEVELOPMENT DISTRICT)
NOW OR FORMERLY
MILFORD PA D.S. LLC
DEED BOOK 2544, PAGE 483
INSTRUMENT NO. 201800001129
TAX MAP NUMBER: 113.02-01-30

PARCEL 1
MINOR SUBDIVISION PLAN FOR
SAEEDA MAHMUD PLAN OF LOTS
PLAT BOOK 50, PAGE 111



LOT 2A
VEMENT/SUBDIVISION
PREPARED FOR
HOLDINGS, LLP
BOOK 51, PAGE 145

ZONING DISTRICT DD
(DEVELOPMENT DISTRICT)

NOW OR FORMERLY
MILFORD TOWNGREEN ASSOCIATION
DEED BOOK R305, PAGE 134
TAX MAP NUMBER: 113.02-01-33

IN GREEN LANE 50'

ZONING DISTRICT DD
(DEVELOPMENT DISTRICT)

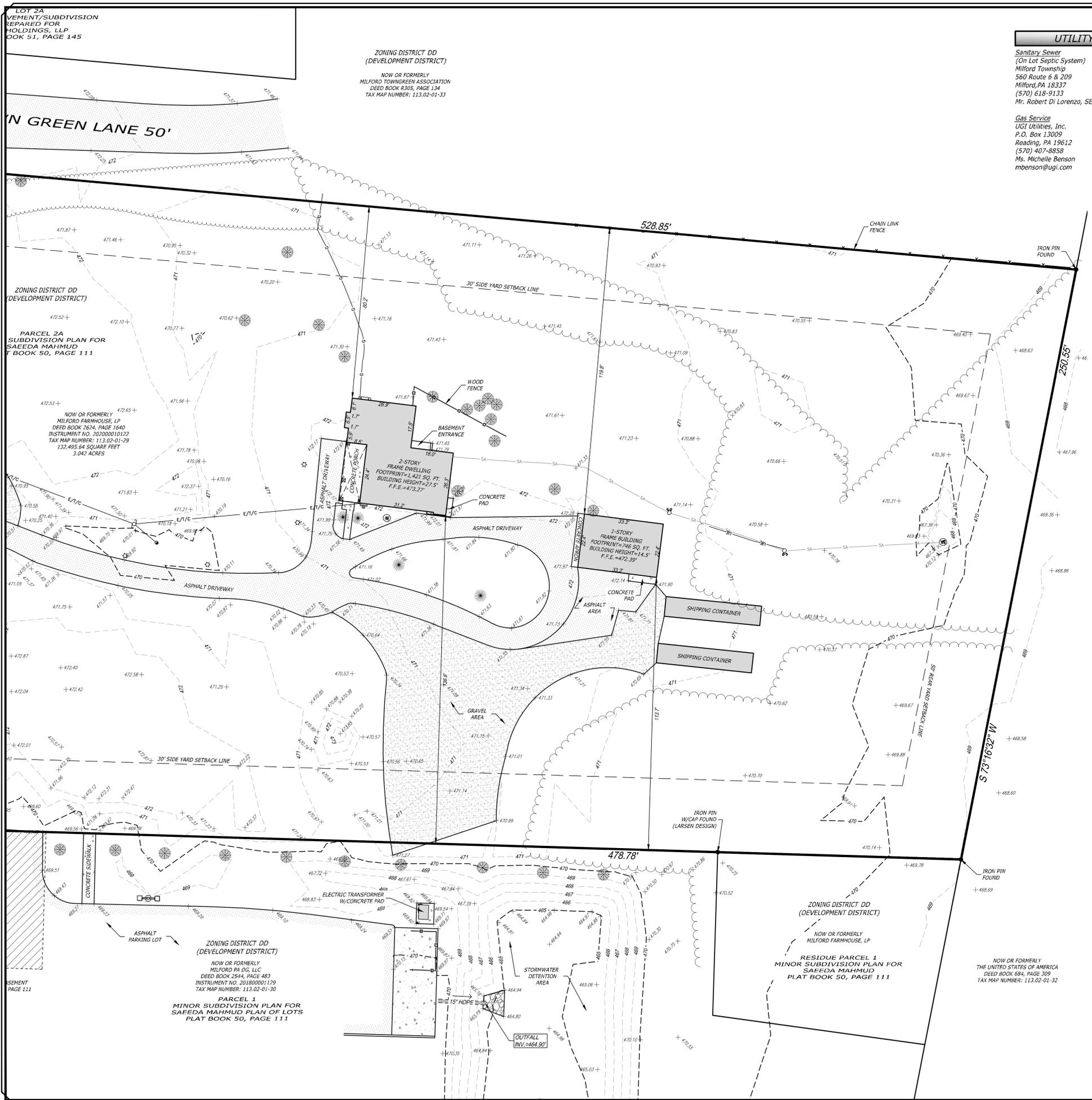
PARCEL 2A
SUBDIVISION PLAN FOR
SAEEDA MAHMUD
PLAT BOOK 50, PAGE 111

NOW OR FORMERLY
MILFORD FARMHOUSE LP
DEED BOOK 3524, PAGE 1640
INSTRUMENT NO. 20200010122
TAX MAP NUMBER: 113.02-01-29
132,495.64 SQUARE FEET
3.042 ACRES

ZONING DISTRICT DD
(DEVELOPMENT DISTRICT)

NOW OR FORMERLY
MILFORD PA DG, LLC
DEED BOOK 2514, PAGE 483
INSTRUMENT NO. 201800001129
TAX MAP NUMBER: 113.02-01-30

PARCEL 1
MINOR SUBDIVISION PLAN FOR
SAEEDA MAHMUD PLAN OF LOTS
PLAT BOOK 50, PAGE 111



UTILITY SERVICE INFORMATION

Sanitary Sewer
(On Lot Septic System)
Milford Township
550 Routes 6 & 209
Milford, PA 18337
(570) 618-9133
Mr. Robert Di Lorenzo, SEO

Gas Service
UGI Utilities, Inc.
P.O. Box 13009
Reading, PA 19612
(570) 407-8858
Ms. Michelle Benson
mbenson@ugi.com

Water Service
Milford Borough Municipal Authority
151 Old Owego Turnpike
Milford, PA 18337
(570) 296-6556
Mr. Nick May
nmay@milfordwater.com

Storm Sewer
Milford Township
560 Route 6 & 209
Milford, PA 18337
Mr. Michael McCaffrey, Zoning Officer
(570) 296-7140
milfordzoningofficer@gmail.com

Electric Service
Verizon North
Pike County Light and Power Company
150 Schneider Lane
Milford, PA 18337
(855) 855-2050
Nicole, Ext. 355

Communication Service
Verizon North
31 South Beaver Street
York, PA 17401
(717) 515-9801
Mr. Danny Blodnikar
dblodnikar@verizon.com

LEGEND OF SYMBOLS

Contour Line	--- 470 ---	Iron Pin Found	⊕
Water Line	W W W W	Septic Tank Lid	⊙
Gas Line	G G G G	Cleanout	⊕
Overhead Electric, Telephone & Cable TV Line	E/T/C	Sign	⊕
Underground Electric Line	UE UE UE	Spot Elevation	+471.43
Storm Sewer	SS SS SS	Benchmark	⊕
Sanitary Sewer	SA SA SA	Right-of-Way	R/W
Easements	--- --- ---	Terra Cotta	T.C.
Setback Line	--- --- ---	Polyvinyl Chloride	PVC
Chain Link Fence	X X X	High Density Polyethylene	HDPE
Wooden/Vinyl Fence	□ □ □	Finished Floor Elevation	F.F.E.
Tree Line	--- --- ---	Corrugated Metal Pipe	CMP
Street Light	⊕	Reinforced Concrete Pipe	RCP
Gas Meter	⊕	Ductile Iron	DI
Gas Valve	⊕	Asphalt	▨
Water Valve	⊕	Concrete	▩
Fire Hydrant	⊕	Gravel	▧
Water Well Lid	⊕	Rip-Rap	▦
Electric Meter	⊕		
Utility Pole	⊕		
Guy Wire	⊕		
Lamp Post	⊕		
Light Pole	⊕		
Trees	⊕		

ZONING INFORMATION

Zoning District - DD (Development District)
The retail sale of auto parts is considered a Conditional Use within the DD Zoning District.

Minimum Lot Area - Lots with central water & sewage - 30,000 sq. ft.
With on-site water or sewage - 1 acre

Min. Ave. Lot Depth/Width - Lots with central water & sewage - 100 feet
With on-site water or sewage - 150 feet

Min. Front Yard Setback - 30 feet
Min. Side Yard Setback - 30 feet
Side adjoining DD District lot 20 feet

Min. Rear Yard Setback - 30 feet
Max. Lot Depth - to lot width ratio 3:1
Max. Building Height - 45 feet
Max. Lot Coverage - 25% (See Section 414 for lot coverage criteria applicable to non-residential uses - up to 65% permitted)

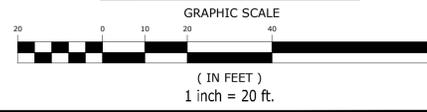
Zoning information was obtained from:
Milford Township Zoning Office
111 West Catherine Street
Milford, Pa 18337
(570) 296-7140
Shawn Bolles-Zoning Officer

Zoning Notes:
1. All properties shown on this survey are in the DD Zoning District (Development District)

Dig Serial No.: 20232001230
Design Serial No.: 20232001305

CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE - STOP CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.

1-800-242-1776



NO.	DATE	REVISIONS	DESCRIPTION
1	08/14/23		ORIGINAL SUBMITTAL
2	09/25/23		UPDATED UTILITIES CONTACTS
3	02/29/24		UPDATED ZONING CONTACT

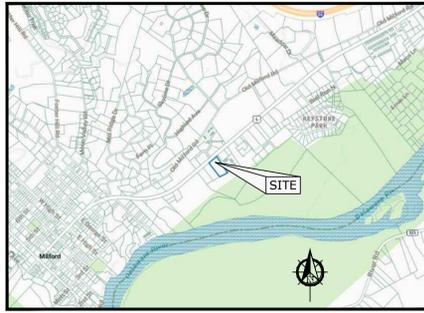
THIS SURVEY HAS BEEN PREPARED WITHIN THE SCOPE OF MY TITLE REPORT, UNLESS SPECIFICALLY NOTED HEREON, AND NO WARRANTY AS TO THE ACCURACY OF THE INFORMATION HEREON IS MADE. ANY ALTERATIONS TO THIS PLAN OR PLAT OF SURVEY MADE AFTER THE DATE OF THIS SURVEY IS ONLY VALID TO THE PARTIES TO THIS SURVEY AND DOES NOT BIND ANY OTHER PARTY. ANY ALTERATIONS TO THIS PLAN OR PLAT OF SURVEY MADE AFTER THE DATE OF THIS SURVEY IS ONLY VALID TO THE PARTIES TO THIS SURVEY AND DOES NOT BIND ANY OTHER PARTY.

MDM
SURVEYORS & ENGINEERS, LLC
Surveyors • Engineers • Site Planners
375 Northgate Drive
Wilmington, DE 19806
Ph: (724) 934-2810 Fax: (724) 934-2811
mdmsurvey@mdmic.com
www.mdmic.com

Autozone Store No. 6887
550 U.S. Route 6
Township of Milford, County of Pike
Commonwealth of Pennsylvania
EXISTING CONDITIONS SURVEY



SCALE:	1" = 20'
DATE:	02/25/24
DRAWN BY:	JAL
CHK'D BY:	HGM



SITE LOCATION MAP
SCALE: 1" = 1,500'

GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH LOCAL MUNICIPALITY AND COUNTY CODES AND STANDARDS. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED TO PERFORM ALL THE WORK. THE CONTRACTOR SHALL POST ALL BONDS, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE OWNER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION. ANY CONFLICT BETWEEN DRAWINGS AND THE SPECIFICATIONS SHALL BE CONFIRMED WITH THE CONSTRUCTION MANAGER PRIOR TO BIDDING.
- SHOULD ANY UNCHARTED, OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER AND THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
- DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER, LOCAL MUNICIPALITY AND/OR UTILITY COMPANY. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY OR PERMANENT SERVICE HAS BEEN PROVIDED.
- THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
- THE CONTRACTOR SHALL RESTORE ANY STRUCTURES, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. WITHIN THE SITE OR ADJOINING PROPERTIES DISTURBED DURING DEMOLITION OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AND TO THE SATISFACTION OF THE OWNER AND LOCAL MUNICIPALITY. ALL COSTS TO COMPLETE THIS WORK SHALL BE INCLUDED IN THE BASE BID FOR THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF PEDESTRIANS AND VEHICLES CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORM TRAFFIC CONTROLLERS IN ACCORDANCE WITH THE STATE DEPARTMENT OF TRANSPORTATION OR AS REQUIRED OR DIRECTED BY THE SITE ENGINEER OR CONSTRUCTION MANAGER OR LOCAL GOVERNING AUTHORITIES. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE DEPARTMENT OF TRANSPORTATION, LOCAL MUNICIPALITY, COUNTY, OR OTHER GOVERNING AUTHORITY IS RECEIVED.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER SHOULD ANY DISCREPANCY REGARDING THE PROPOSED WORK OR UNFORESEEN CONDITIONS ARISE PRIOR TO PROCEEDING FURTHER WITH THE AFFECTED WORK.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AND THE ARCHITECT FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES.
- REFER TO DETAIL SHEETS FOR EROSION AND SEDIMENT CONTROL, STORM DRAINAGE, UTILITY, PAVING, CURBING, SIGNAGE, AND RETAINING WALL DETAILS AS APPLICABLE.
- PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH DEPARTMENT OF TRANSPORTATION GUIDELINES AND SHALL BE EITHER COLD LAID THERMOPLASTIC TAPE OR PAINTED AS DESIGNATED ON THE PLANS OR PAVEMENT MARKING DETAILS.
- SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE UNLESS OTHERWISE NOTED.
- ALL PAVING MATERIALS FURNISHED AND WORK COMPLETED SHALL BE IN STRICT ACCORDANCE WITH THE STATE DEPARTMENT OF TRANSPORTATION GUIDELINES UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LAWFUL MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS FOR BUILDING, WALLS, CONCRETE SLABS, AND UTILITY SERVICE POINT CONNECTIONS AND NOTIFYING THE OWNER AND ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REFERENCE BUILDING CONSTRUCTION PLANS FOR EXACT LOCATIONS OF ALL UTILITY CONNECTIONS TO BUILDINGS AND DOOR STEP LOCATIONS.
- PIPE BOLLARDS SHALL BE INSTALLED IN TRAFFIC AND LOADING AREAS AS REQUIRED TO PROTECT BUILDING CORNERS, RECEIVING AREAS, HYDRANTS, TRANSFORMERS, METERS, GENERATORS, COMPACTORS, STEPS, AND RAILINGS, AS NECESSARY.
- THE OWNER, AT THEIR DISCRETION, RESERVES THE RIGHT TO MODIFY THE DETAILS AND STANDARDS OF CONSTRUCTION FOR ALL PRIVATE FACILITIES FROM THAT INDICATED ON THE APPROVED PLAN, PROVIDED THAT THE ALTERNATE STANDARD COMPLIES WITH LOCAL CODE AND/OR UTILITY COMPANY REQUIREMENTS AND THE GENERAL DESIGN INTENT OF THE PROJECT IS NOT COMPROMISED.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AS REQUIRED FOR REVIEW AND APPROVAL, PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
- THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF THE BUILDING, ROOF DRAINS, AND CONCRETE SIDEWALKS.
- TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DEPARTMENT OF TRANSPORTATION STANDARD DETAIL SHEETS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB.
- INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE PA ONE CALL SYSTEM WITHIN THREE (3) WORKING DAYS BEFORE COMMENCEMENT OF WORK AT 1-800-242-1776 AND VERIFY ALL LOCATIONS.
- FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY AND LOCAL FIRE DEPARTMENT REQUIREMENTS.

PARKING REQUIREMENTS

PARKING STALL SIZE: 10' x 20' REQUIRED; 10' x 20' PROVIDED
 ONE (1) PARKING STALL PER 150 SQ. FT. OF GROSS FLOOR AREA.
 7,382 SF ÷ 150 SF = 49.21 (50) PARKING STALLS REQUIRED
 50 PARKING STALLS PROVIDED
 LOADING SPACE: ONE (1) 15' x 75' LOADING SPACE REQUIRED
 ONE (1) 15' x 75' LOADING SPACE PROVIDED

GENERAL NOTES

- PROOF ROLL BUILDING AND ALL PARKING AREAS. NOTIFY THE ENGINEER OF ANY UNACCEPTABLE AREAS.
- EDGE OF NEW PAVEMENT TO BE FLUSH WITH EXISTING PAVEMENT.
- ALL SIDEWALK CURB AND GUTTER STREET PAVING, CURB CUTS, DRIVEWAY APPROACHES, HANDICAP RAMP, ETC. CONSTRUCTED OUTSIDE THE PROPERTY LINE IN THE RIGHT-OF-WAY SHALL CONFORM TO ALL MUNICIPAL AND/OR STATE SPECIFICATIONS AND REQUIREMENTS.
- FOR AREAS OUTSIDE THE PROPERTY LINES, REPAIR AND/OR REPLACE ALL DAMAGE DONE TO EXISTING ELEMENTS (SIDEWALKS, PAVING, LANDSCAPING, ETC.) AS REQUIRED BY OWNER AND/OR GOVERNING AUTHORITY.
- FOR PROPOSED UTILITY LOCATIONS, SEE THE SITE UTILITY PLAN.
- PROPOSED USE: RETAIL SALE OF AUTO PARTS.

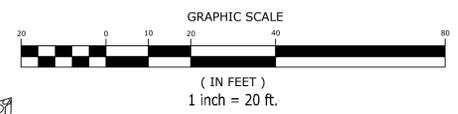
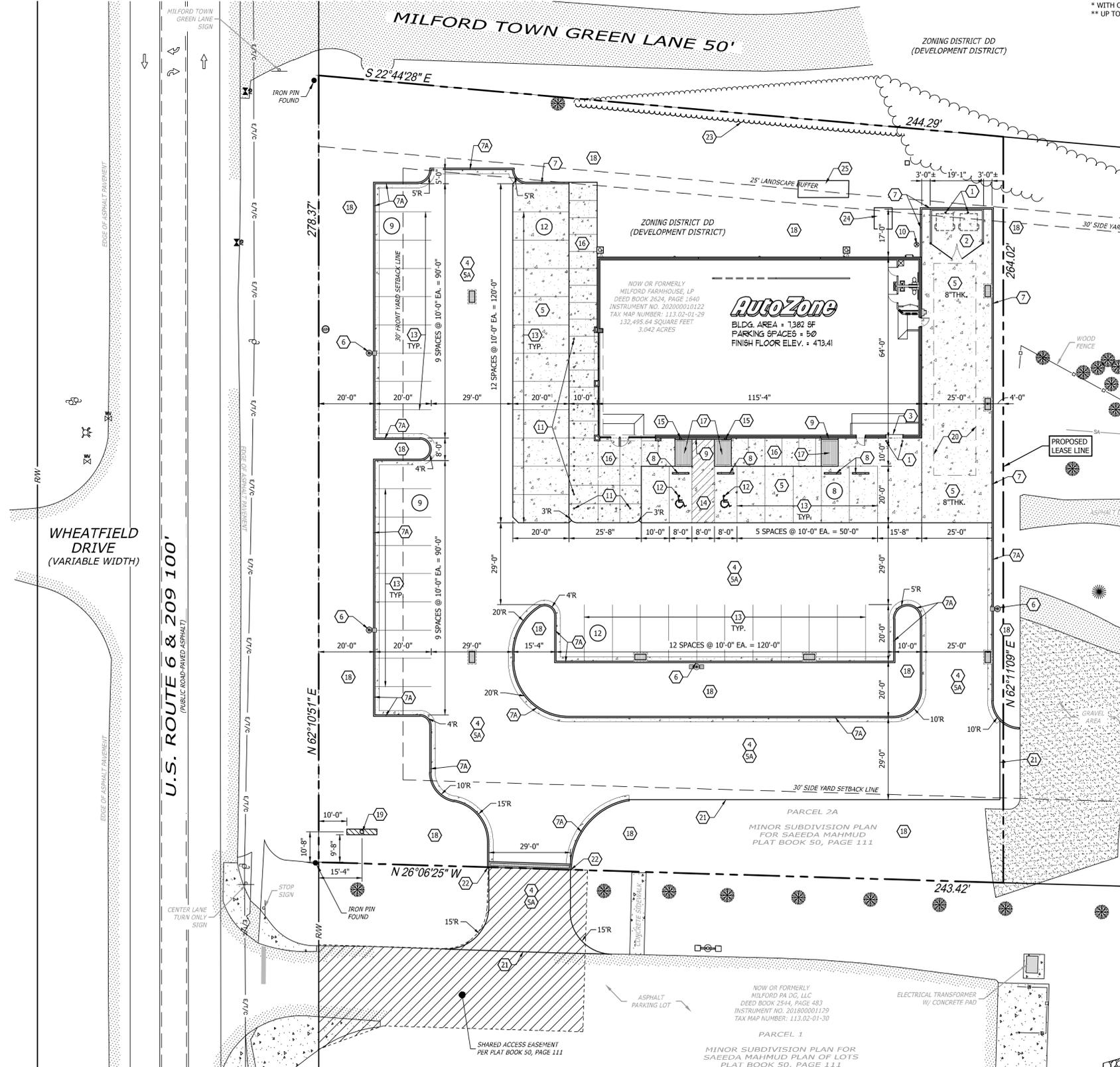
ZONING INFORMATION

DESCRIPTION	REQUIRED	PROPOSED
MINIMUM LOT AREA *	43,560 SF (1 ACRE)	65,987.94 SF (1.514 Ac) (LEASE AREA)
MINIMUM LOT WIDTH *	150'	243.42'
MAXIMUM LOT DEPTH TO WIDTH RATIO	3:1	1.35:1
MINIMUM FRONT YARD SETBACK	30'-0"	99'-0"
MINIMUM SIDE YARD SETBACK	30'-0"	136'-8" WEST, 45'-0" EAST
MINIMUM REAR YARD SETBACK	30'-0"	290'-11"
MAXIMUM BUILDING HEIGHT	45'-0"	19'-0"
MAXIMUM IMPERVIOUS COVERAGE **	65%	64.92%

* WITH ON-SITE WATER OR SEWAGE.
 ** UP TO 65% PERMITTED FOR NON-RESIDENTIAL USE PER SECTION 414.

KEYNOTES

- PIPE GUARD - SEE DETAIL 11/C1.A.
- DUMPSTER LAYOUT - SEE DETAILS 13, 14, 15 & 16/C1.A.
- SERVICE DOOR - SEE DETAIL 10/C1.A.
- ASPHALT PAVING - SEE DETAILS 2 & 4/C1.A.
- CONCRETE PAVING - SEE DETAIL 3/C1.A. EXPANSION AND CONTROL JOINTS - SEE DETAILS 21 & 22/C1.A. MAXIMUM SPACING FOR CONTROL JOINTS IS 15' O.C. EACH WAY.
- G.C. TO PROVIDE ALTERNATE BID FOR CONCRETE PAVING, WHERE NOTED.
- CONCRETE LIGHT POLE BASE - SEE DETAIL ON SHEET PH1.0. AIM LIGHT FIXTURE IN DIRECTION AS INDICATED.
- ROLL-OVER CURB @ CONCRETE PAVING - SEE DETAIL 1/C1.A.
- ROLL-OVER CURB @ ASPHALT PAVING - SEE DETAIL 2/C1.A.
- WHEEL STOP - SEE DETAIL 12/C1.A.
- CONSTRUCT 6" WIDE CONCRETE CURB AGAINST BUILDING AT ACCESSIBLE RAMP.
- FROST-PROOF YARD HYDRANT - SEE DETAIL ON SHEET P1.
- BOLLARD PLAN - SEE DETAIL 9/C1.A.
- BARRIER-FREE PARKING SYMBOL - SEE DETAIL 7/C1.A.
- 4" WIDE PARKING STRIPE PAINTED WHITE (TYP.).
- 4" WIDE DIAGONAL STRIPES PAINTED WHITE AT 2 FT. O.C. STRIPES AT ACCESSIBLE PARKING TO BE BLUE - SEE DETAIL 6/C1.A.
- ACCESSIBLE PARKING SIGN - SEE DETAIL 8/C1.A. G.C. TO PROVIDE ONE VAN ACCESSIBLE SIGN.
- CONCRETE SIDEWALK - SEE DETAILS 20 & 24/C1.A FOR SIDEWALKS AROUND BUILDING.
- ACCESSIBLE RAMP - SEE DETAILS 5 & 6/C1.A - MAX. SLOPE 1:12 (8.33%), MAX. CROSS SLOPE 1:50 (2.00%), TRUNCATED DOME TO BE A CONTRASTING COLOR.
- NEW LANDSCAPE AREA - PROVIDE 3" TOPSOIL & SOD. SEE SHEET L1.0 FOR ADDITIONAL INFORMATION.
- 5'x8'x8" O.A.H. MONUMENT SIGN. CONTRACTOR TO FURNISH & INSTALL SUPPORT POLE, FOUNDATION, MASONRY BASE, AND ELECTRICAL CONNECTION. AUTOZONE SIGN VENDOR TO FURNISH & INSTALL CABINET UNDER SEPARATE PERMIT.
- 15' x 75' OFF-STREET LOADING SPACE.
- LIMIT OF NEW PAVEMENT.
- FLUSH CURB TO PAVEMENT AT 4:1 SLOPE.
- NEW EDGE OF EXISTING BRUSH/TREES TO REMAIN. PROTECT EXISTING TREES DURING CONSTRUCTION.
- SEPTIC TANK - SEE SHEET SS1.0 FOR MORE INFORMATION.
- ABSORPTION AREA - SEE SHEET SS1.0 FOR MORE INFORMATION.



TICKET No.: 20231313744

CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES
 3 WORKING DAYS NOTICE FOR
 CONSTRUCTION PHASE AND 10 WORKING
 DAYS IN DESIGN STAGE - STOP CALL
 PENNSYLVANIA ONE CALL SYSTEM, INC.
 1-800-242-1776

Owner / Developer:
AutoZone Development, LLC
 123 South Front Street, 3rd Floor
 Memphis, Tennessee 38103
 Tel: (901) 495-8709 Fax: (901) 495-8969
 For Bidding & Contractor Information Contact:
 F.W. Dodge Plan Room Tel: (615) 884-1017

PREPARED FOR:
AutoZone
 Store No.: 6887
 550 ROUTE 6 & 209
 TOWNSHIP OF MILFORD, COUNTY OF PIKE
 COMMONWEALTH OF PENNSYLVANIA

DRAFTSMAN: CWT
 CHECKED BY: CAD
 DATE: 11-13-2025
 PROTOTYPE SIZE: 7x2-L

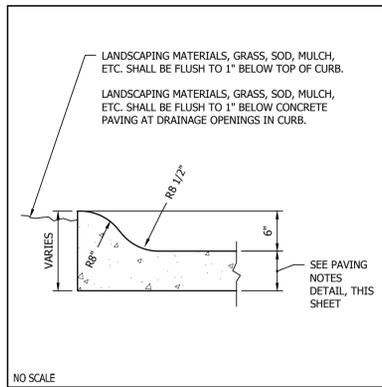
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REVISIONS

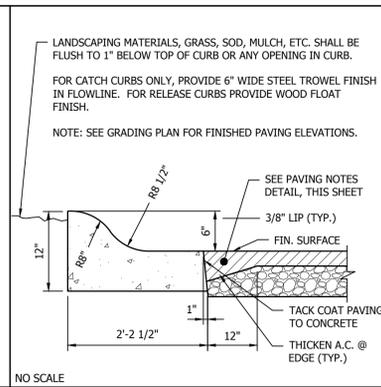
NO.	DATE	PER	COMMENTS
1.	12-18-25		
2.			
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7.			
8.			

REGISTERED PROFESSIONAL ENGINEER
 THOMAS A. DEANGELO
 PENNSYLVANIA

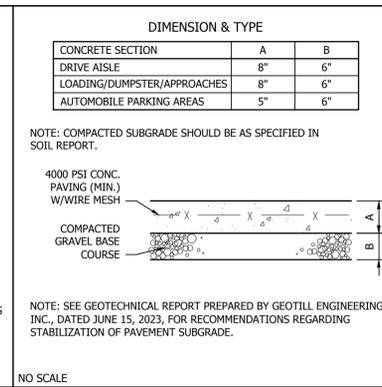
C1.0
 Sheet 5 of 22



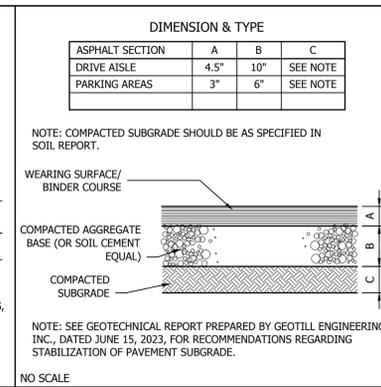
1 TYPICAL ROLL-OVER CURB



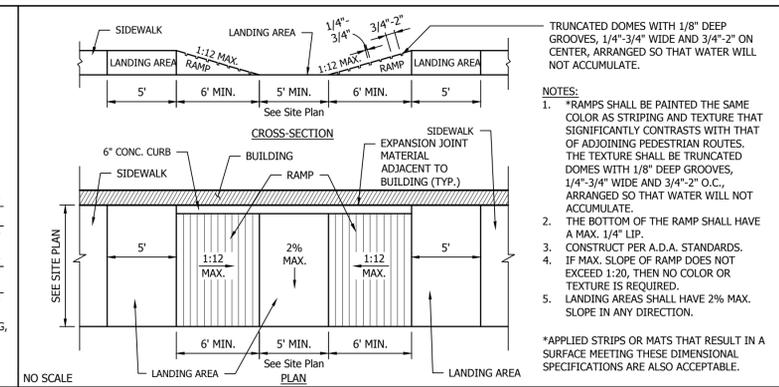
2 ROLL-OVER CURB at ASPHALT PAVING



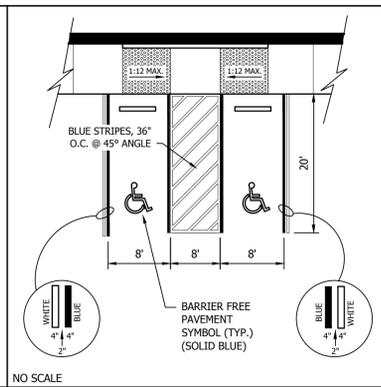
3 CONCRETE PAVING SECTION



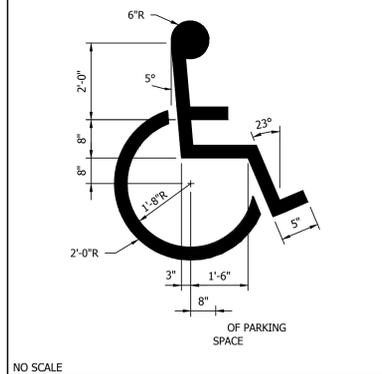
4 ASPHALT PAVING SECTION



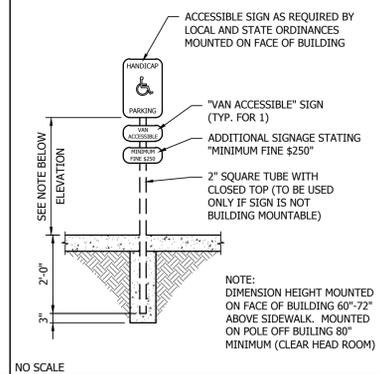
5 CONCRETE ACCESSIBLE RAMP



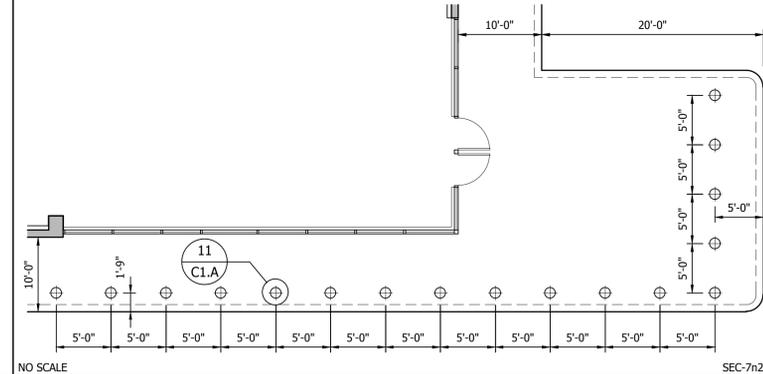
6 ACCESSIBLE PARKING DETAIL



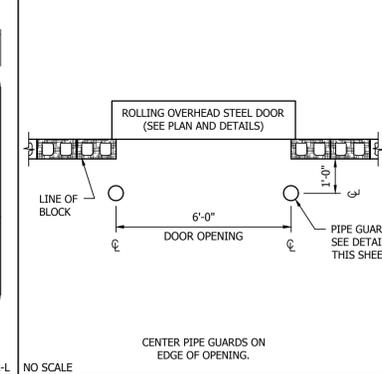
7 INT'L BARRIER FREE SYMBOL



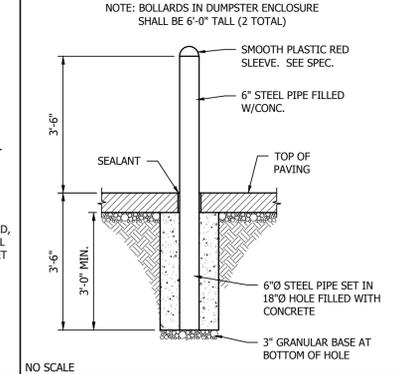
8 TYPICAL ACCESSIBLE PARKING SIGN



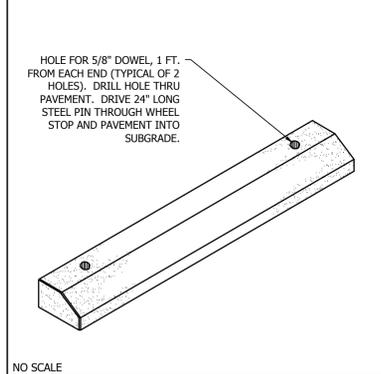
9 BOLLARD LAYOUT PLAN - 7n2



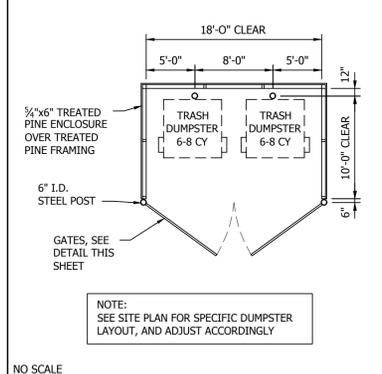
10 PIPE GUARD @ SERVICE DOOR



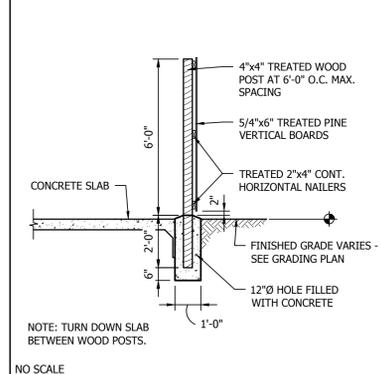
11 TYPICAL PIPE GUARD/BOLLARD SECTION



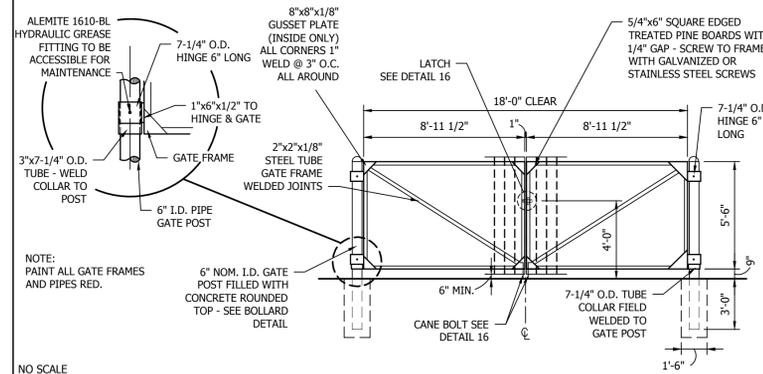
12 WHEEL STOP DETAIL



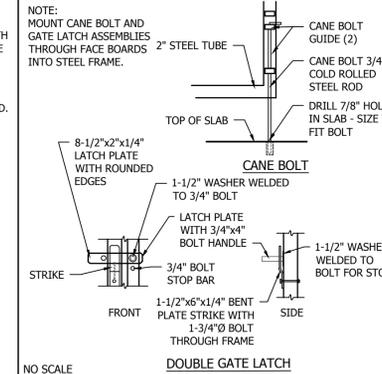
13 DUMPSTER LAYOUT



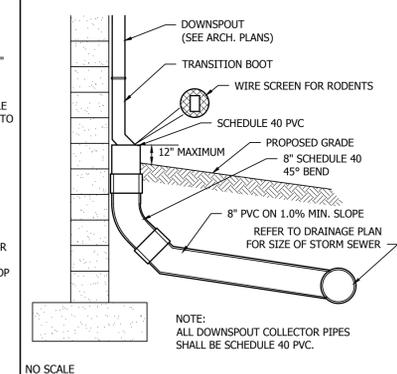
14 WOOD DUMPSTER SECTION



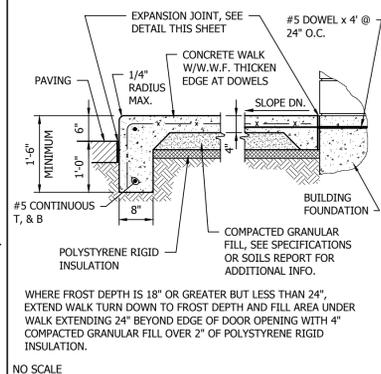
15 GATE DETAIL FOR DUMPSTER ENCLOSURE



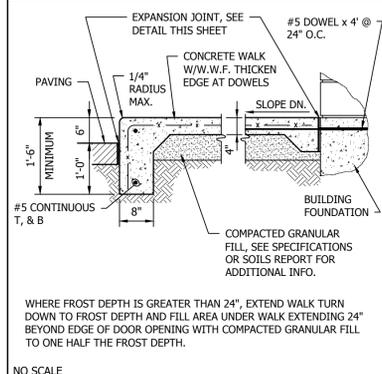
16 GATE LATCH/BOLT DETAILS



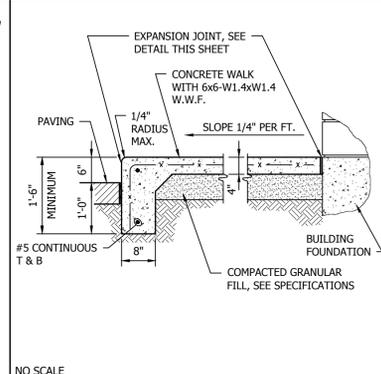
17 DOWNSPOUT DETAIL



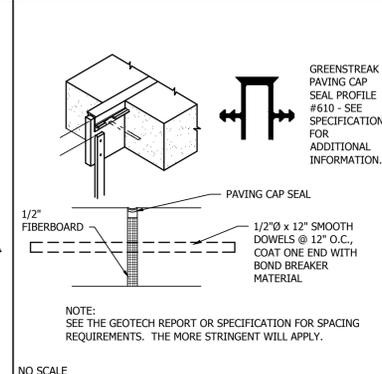
18 WALK AT DOORS FROST DEPTH 18" TO 24"



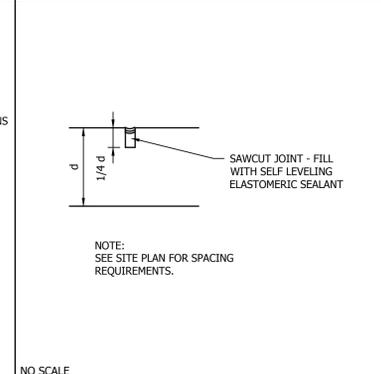
19 WALK AT DOORS FROST DEPTH 24\"/>



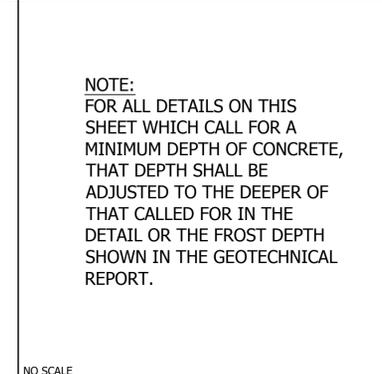
20 TYPICAL WALK SECTION



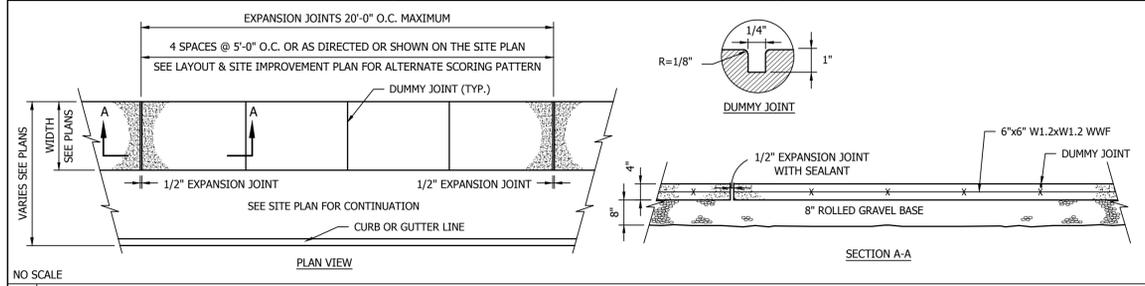
21 TYPICAL EXPANSION JOINT



22 TYPICAL CONTROL JOINT



23 FROST DEPTH NOTES



24 CONCRETE SIDEWALK

Owner / Developer:
AutoZone Development, LLC
 123 South Front Street, 3rd Floor
 Memphis, Tennessee 38103
 Tel: (901) 495-8709 Fax: (901) 495-8969
 For Bidding & Contractor Information Contact:
 F. W. Dodge Plan Room Tel: (615) 884-1017



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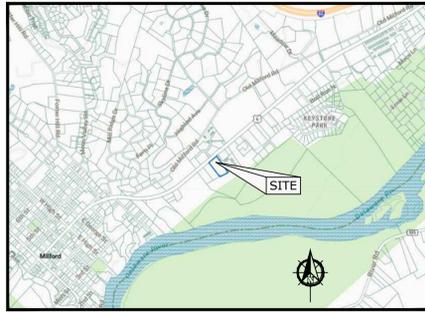
SCALE: AS NOTED

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DRAFTSMAN: CWT
 CHECKED BY: CAD
 DATE: 11-13-2025
 PROTOTYPE SIZE: 7n2-L



C1.A
 Sheet 6 of 22



SITE LOCATION MAP
SCALE: 1" = 1,500'

TREE REMOVAL LIMITATION

THE PROPOSED PROJECT IS LOCATED WITHIN THE HABITAT OF THE NORTHERN LONG-EARED BAT AND THE INDIANA BAT. TO ENSURE A TAKING IS NOT REASONABLY CERTAIN TO OCCUR, DO NOT CONDUCT TREE REMOVAL ACTIVITIES FROM APRIL 1 TO SEPTEMBER 30. THE U.S. FISH AND WILDLIFE SERVICE HAS DETERMINED THAT A TAKING IS NOT REASONABLY CERTAIN TO OCCUR FROM TREE REMOVAL ACTIVITIES, IF THOSE ACTIVITIES OCCUR OUTSIDE THE NORTHERN LONG-EARED BAT SUMMER OCCUPANCY SEASON (APRIL 1 TO SEPTEMBER 30) AND THE INDIANA BAT PUP SEASON (MAY 15 TO JULY 31). MORE INFORMATION CAN BE FOUND AT fws.gov.

PLANT LIST							
SYMBOL	QTY.	KEY	BOTANICAL/Common NAME	MATURE SIZE	MINIMUM SIZE AT PLANTING	ROOT TYPE	REMARKS
[Symbol]	3	AP	ACER PALMATUM	30' HEIGHT, 20' WIDTH	12' HEIGHT & 3" CAL.	B & B	DECIDUOUS SHADE TREE
			SKYLINE HONEYLOCUST				
[Symbol]	13	JC	JUNIPERUS CHINENSIS	12' HEIGHT, 8' WIDTH	8' HEIGHT & 1.5" CAL.	B & B	EVERGREEN TREE
			BLUE POINT JUNIPER				
[Symbol]	8	BM	BUXUS MICROPHYLLA VAR. JAPONICA	2' - 5' HGT. 2' - 4' WIDE	2' HEIGHT	#5 CONT.	SCREEN SHRUB
			WINTER GEM BOXWOOD				
[Symbol]	3	PO	QUERCUS PALUSTRIS	30' HEIGHT, 15' WIDTH	12' HEIGHT & 3" CAL.	B & B	DECIDUOUS SHADE TREE
			PIN OAK				

LEGEND

Proposed Contour Line: 472

Proposed High Point: H.P.

Proposed Elevation: 471.50 TC (TOP OF CURB), 471.00 BC (BOTTOM OF CURB)

Proposed Storm Inlet: [Symbol]

Proposed Storm Line: [Symbol]

Limit of Disturbed Area: [Symbol]

Contour Line: 1845

Gas Line: G-G

Overhead Electric, Telephone & Cable Line: E/T/C

Overhead Wires: OH-OH

Storm Sewer: [Symbol]

Sanitary Sewer: [Symbol]

Easements: [Symbol]

Setback Line: [Symbol]

Former Property Line: [Symbol]

Depressed Curb: [Symbol]

Wooden/Vinyl Fence: [Symbol]

Tree Line: [Symbol]

Street Light: [Symbol]

Sanitary Manhole: [Symbol] Iron pin w/cap set (Unless otherwise noted)

Storm Manhole: [Symbol] Iron Pin Found

Storm Inlet: [Symbol]

Sign: [Symbol] Gas Valve

Illuminated Signs: [Symbol] Water Valve

Flagpole: [Symbol] Fire Hydrant

Spot Elevation: +166.00

Utility Pole: [Symbol]

Guy Wire: [Symbol]

Light Pole: [Symbol]

Existing Curb Elevations: TC=Top of Curb, BC=Bottom of Curb

Traffic Flow Arrows: [Symbol]

Benchmark: [Symbol]

Right-of-Way: RW

Corrugated Plastic Pipe: CPP

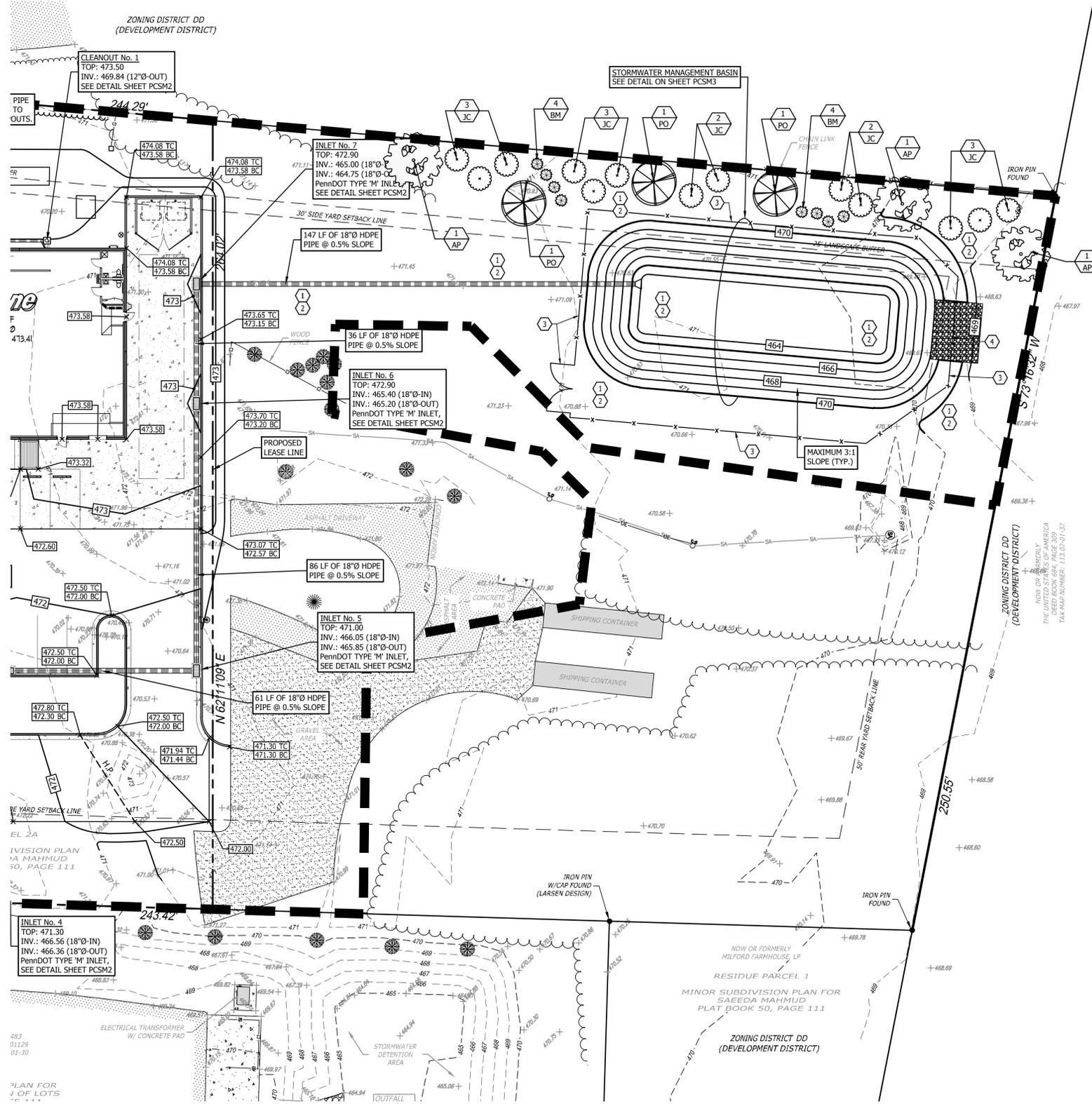
Reinforced Concrete Pipe: RCP

Asphalt: [Symbol]

Gravel: [Symbol]

GRADING AND DRAINAGE NOTES

- SEE SITE PLAN FOR ADDITIONAL GENERAL NOTES.
- ALL SITE WORK, MATERIALS OF CONSTRUCTION, AND CONSTRUCTION METHODS SHALL COMPLY WITH LOCAL MUNICIPALITY, LOCAL COUNTY, AND DEPARTMENT OF TRANSPORTATION MATERIAL AND CONSTRUCTION SPECIFICATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE PA ONE CALL SYSTEM AT 1-800-242-1776 AT LEAST THREE (3) WORKING DAYS BEFORE START OF WORK AND VERIFY ALL EXISTING UTILITY LOCATIONS.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- THE CONTRACTOR SHALL COMPACT PIPE BACKFILL IN MAX. 8" LOOSE LIFTS TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557, ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION.
- CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING/CANOPY STUB-OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
- MANHOLE RIMS AND STORM INLET GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND COVERS, STORM INLET GRATES, VALVE BOXES, ETC., TO BE RAISED OR LOWERED, TO PROPOSED FINISHED GRADE, FLUSH WITH THE ADJACENT GRADE.
- UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE ENGINEER OR CONSTRUCTION MANAGER, AFTER SUBGRADE IS ROUGH GRADED. THE BOROUGH SHALL REVIEW AND APPROVE ANY CHANGES TO THE APPROVED PLANS PRIOR TO INSTALLATION OF THE CHANGE.
- ALL EXISTING TOPOGRAPHICAL FEATURES (SPOT ELEVATIONS, CONTOURS, INVERTS, ETC.) CAN HAVE A TOLERANCE DIFFERENCE OF 6" DEPENDING ON FIELD CONDITIONS AT THE TIME OF THE FIELD SURVEY. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHICAL FEATURES PRIOR TO CONSTRUCTION, AND ADVISE OWNER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL RESTORE ANY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. DISTURBED DURING CONSTRUCTION TO THE ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MATERIALS AND STRUCTURES TO THE CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION AND SEDIMENTATION PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
- THE CONTRACTOR SHALL COMPACT FILL IN 8" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LAWFUL MANNER.
- THE CONTRACTOR SHALL BE ADVISED THAT ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THAT IT SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE CONSTRUCTION AS DESIGNED. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL UNABLE TO BE PLACED ON SITE AND THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE JOB.
- ALL EXCAVATION AND GRADING CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT. A COPY OF THE REFERENCED REPORT SHALL BE KEPT ON SITE FOR CONSTRUCTION AND REFERENCE.
- SITE GRADING SHALL BE PERFORMED TO PROVIDE POSITIVE DRAINAGE TO STORM INLETS AND TO PRECLUDE THE PONDING OF WATER ON SITE.
- VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDINGS WITH THE ARCHITECTURAL PLANS.
- ALL ACCESSIBLE PARKING SPACES TO HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
- ALL SIDEWALKS, PATIO AREAS, AND ACCESSIBLE ROUTES TO THE BUILDING ARE TO HAVE A MAXIMUM CROSS SLOPE OF 2%, AND A MAXIMUM LONGITUDINAL SLOPE OF 5%.
- CONTRACTOR TO FIELD VERIFY PROPOSED AND EXISTING GRADES, SLOPES, ETC., FOR PROPOSED ACCESSIBLE PARKING AREAS, RAMPS, ETC., WITH ARCHITECT, PRIOR TO CONSTRUCTION.
- LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE TAKEN FROM FIELD OBSERVATION, UTILITY MAPS, ETC., AND ARE NOT ASSUMED TO BE ACCURATE. PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTRACTOR TO DIG TEST PITS AT ALL PROPOSED UTILITY CROSSINGS, TO VERIFY LOCATION, DEPTH, SIZE, ETC. OF EXISTING UNDERGROUND UTILITIES, AND CONFIRM NEW UTILITY LINES CAN BE INSTALLED AS PROPOSED. ADVISE AUTOZONE CONSTRUCTION MANAGER IMMEDIATELY WITH ANY CONFLICTS OR DISCREPANCIES.



KEYNOTES

- CLEAR AND GRUB WITHIN PROPOSED LIMITS OF DISTURBANCE, AS REQUIRED, FOR WORK RELATED TO THE INSTALLATION AND CONSTRUCTION OF THE STORM PIPING, RETENTION POND, FENCING, NEW LANDSCAPING, ETC.
- FURNISH AND INSTALL TOPSOIL AS REQUIRED, AND INSTALL NEW SEEDING, FERTILIZER, ETC. AT ALL DISTURBED AREAS.
- 4'-0" HIGH CHAIN LINK FENCE AROUND POND, COMPLETE WITH TWO (2) 8'-0" WIDE GATES WITH LOCKING HARDWARE.
- FENCE OVER WATER GAP TO ALLOW FREE PASSAGE OF WATER AND DEBRIS. DO NOT OBSTRUCT FLOW.

GRAPHIC SCALE
1 inch = 20 ft.

Owner/Developer:
AutoZone Development, LLC
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8969
For Bidding & Contractor Information Contact:
F. W. Dodge Plan Room Tel: (615) 884-1017



PREPARED FOR:
AutoZone
Store No.: 8887
550 ROUTE 6 & 203
TOWNSHIP OF MILFORD, COUNTY OF PIKE
COMMONWEALTH OF PENNSYLVANIA

SCALE: 1" = 20'-0"

REVISIONS

NO.	DATE	PER	COMMENTS
1.	12-18-25		
2.			
3.			
4.			
5.			
6.			
7.			
8.			

DRAFTSMAN: CWT
CHECKED BY: CAD
DATE: 11-13-2025
PROTOTYPE SIZE: 7x2-L

Dig Serial No.: 20232001230
Design Serial No.: 20232001305

CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE - STOP CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776



PHASING OF SITE DEVELOPMENT

CONSTRUCTION PHASING / SEQUENCE

- THE OVERALL SITE-WORK GENERALLY CONSISTS OF EARTHWORK ACTIVITIES FOR APPROXIMATELY 2,670 +/- ACRES OF DISTURBED AREA TO PERFORM THE PROPOSED GRADING AND CONSTRUCTION FOR THE PROJECT. IT IS PROPOSED TO APPROXIMATELY PROCEED WITH THE PROJECT IN THE FOLLOWING SEQUENCE:
1. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING...

PA DEP STANDARD EBS PLAN NOTES:

- 1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED EBS PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
2. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
3. IMMEDIATELY UPON STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE EBS PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL ENGINEER RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE OF THE PIKE COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING...

ADDITIONAL NOTES:

- 1. CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
2. EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3:1 OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.

GENERAL SEEDING SPECIFICATIONS

THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION RECOMMENDS USING THE PENN STATE "EROSION CONTROL AND CONSERVATION PLANTINGS ON NONCROPLAND" MANUAL AS A REFERENCE FOR SELECTION OF SPECIES, SEED SPECIFICATIONS, MIXTURES, LIMING AND FERTILIZING, TIME OF SEEDING, AND SEEDING METHODS. SPECIFICATIONS FOR THESE ITEMS MAY ALSO BE OBTAINED FROM THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PUBLICATION 406, SECTION 804 OR BY CONTACTING THE APPLICABLE COUNTY CONSERVATION DISTRICT.

TEMPORARY SEEDING SPECIFICATIONS

PRELIMINARY PREPARATION: ALL AREAS THAT WILL BE SEEDED MUST BE LOOSENEED USING MECHANICAL MEANS. SOIL MUST BE LOOSENEED TO A DEPTH OF AT LEAST TWO INCHES.

LIME AND FERTILIZER: APPLY 1 TON OF AGRICULTURAL GRADE LIMESTONE PER ACRE AND FERTILIZER AS INDICATED BY THE SOIL TEST. IN THE ABSENCE OF A SOIL TEST, APPLY AGRICULTURAL GRADE LIMESTONE AT A RATE OF 1 TON PER ACRE AND APPLY FERTILIZER AT 500 POUNDS OF 10-10-10 FERTILIZER PER ACRE (E.G., 166.67 POUNDS NITROGEN (N), 166.67 POUNDS PHOSPHORUS (P2O5), AND 166.67 POUNDS POTASSIUM (K2O) PER ACRE. WORK LIME AND FERTILIZER INTO SOIL WHERE POSSIBLE USING A TRACTOR DRAWN IMPLEMENT...

SEED: ALL SEED MUST BEAR A GUARANTEED STATEMENT OF ANALYSIS AND MUST BE PROPRIETARILY BLENDED AND MIXED BY THE OWNER AND/OR OPERATOR. TOTAL GERMINATION OBTAINED BELOW. SEED DATA WAS OBTAINED FROM THE PADEP EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE (BMP) MANUAL, TABLES 11.3 AND 11.4.

Table with columns: SPECIES, PURITY (%), READY GERMINATION (%), TOTAL GERMINATION (%), PURE LIVE SEED SEEDING RATE (LBS/ACRE). Rows include Spring/Summer and Summer/Fall data for Redtop, Tall Ryegrass, and Annual Ryegrass.

1. PURE LIVE SEED (PLS) IS THE PRODUCT OF THE PERCENTAGE OF PURE SEED TIMES PERCENTAGE GERMINATION DIVIDED BY 100. FOR EXAMPLE, TO SECURE THE ACTUAL PLANTING RATE FOR ANNUAL RYEGRASS, DIVIDE THE PLS SEEDING RATE OF 10 LBS/ACRE BY THE PLS AS SHOWN ON THE SEED TAG. THIS, IF THE PLS CONTENT OF A GIVEN SEEDLOT IS 60%, DIVIDE 10 PLS (LBS/ACRE) BY 0.60 TO OBTAIN 16.7 LBS OF SEED REQUIRED TO PLANT ONE ACRE. ALL MIXTURES IN THIS TABLE ARE SHOWN IN TERMS OF PLS, LBS/ACRE.

MULCH: ALL SEEDS MUST BE IMMEDIATELY MULCHED TO PROMOTE ADEQUATE VEGETATIVE COVER. USE CLEAN CUT OR WHEAT STRAW, FREE OF WEEDS, NOT CHOPPED OR FINELY BROKEN. THE STRAW MUST BE FREE FROM MATURE SEED-BEARING STALKS OR ROOTS OF PROHIBITED OR NOXIOUS WEEDS AS DEFINED BY THE PENNSYLVANIA SEED ACT OF 1947.

APPLY MULCH AT A RATE OF 3 TONS PER ACRE (E.G., 140 POUNDS PER 1,000 SQUARE FEET OR 1.240 POUNDS PER 1,000 SQUARE YARDS). THE MULCH MUST BE ANCHORED IMMEDIATELY AFTER APPLICATION. A TRACTOR DRAWN IMPLEMENT MAY BE USED TO ANCHOR THE MULCH INTO THE SOIL. THIS METHOD IS LIMITED TO SLOPES SHALLOWER THAN OR EQUAL TO 3:1 AND THE EQUIPMENT MUST BE OPERATED ON THE CONTOUR.

PERMANENT SEEDING SPECIFICATIONS

PRELIMINARY PREPARATION: GRADE AS NECESSARY TO BRING SURFACE TO A TRUE, SMOOTH SLOPE PARALLEL TO AND SIX INCHES BELOW FINISH GRADE (E.G., 8 INCHES FOR BASIN EMBANKMENTS WHEN APPLICABLE). PLACE TOPSOIL OVER SPECIFIED AREAS. TOPSOIL SHOULD BE AT A GREATER THICKNESS (I.E., GENERALLY 6 TO 8 INCHES) THAN THE FINISHED GRADE TO ALLOW FOR SETTLEMENT AND LIGHT LOADING. THE FINAL COVER MUST CONFORM TO THE PROPOSED LINES, GRADES AND ELEVATIONS.

LIME AND FERTILIZER: APPLY AGRICULTURAL GRADE LIMESTONE AND FERTILIZER AS PER THE RECOMMENDATIONS INDICATED BY THE SOIL TEST. IN THE ABSENCE OF A SOIL TEST, APPLY AGRICULTURAL GRADE LIMESTONE AT A RATE OF 6 TONS PER ACRE, AND APPLY 1,000 POUNDS OF 10-20-20 FERTILIZER (E.G., 200 POUNDS NITROGEN (N), 400 POUNDS PHOSPHORUS (P2O5), AND 400 POUNDS POTASSIUM (K2O) PER ACRE). WORK LIME AND FERTILIZER INTO SOIL WHERE POSSIBLE. LIME AND FERTILIZER DATA WAS OBTAINED FROM THE PADEP EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE (BMP) MANUAL, TABLES 11.3 AND 11.4.

SEED: SEEDING MUST BE CONDUCTED AS TWO SEPARATE OPERATIONS. THE FIRST SEEDING OPERATION MUST BE COMPLETED PRIOR TO STARTING THE SECOND SEEDING OPERATION. THE SEED DATA MUST BE OBTAINED FROM THE PADEP EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE (BMP) MANUAL, TABLES 11.3 AND 11.4.

ALL SEEDS MUST BEAR A GUARANTEED STATEMENT OF ANALYSIS AND MUST BE 100% PROPORTION BY WEIGHT WITH THE MINIMUM PURITY, READY GERMINATION, AND TOTAL GERMINATION OBTAINED BELOW. SEED DATA WAS OBTAINED FROM THE PADEP EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE (BMP) MANUAL, TABLES 11.3 AND 11.4.

Table with columns: SPECIES, PURITY (%), READY GERMINATION (%), TOTAL GERMINATION (%), PURE LIVE SEED SEEDING RATE (LBS/ACRE). Rows include Spring/Summer and Summer/Fall data for Redtop, Tall Ryegrass, and Annual Ryegrass.

SEED: SEEDING MUST BE CONDUCTED AS TWO SEPARATE OPERATIONS. THE FIRST SEEDING OPERATION MUST BE COMPLETED PRIOR TO STARTING THE SECOND SEEDING OPERATION. THE SEED DATA MUST BE OBTAINED FROM THE PADEP EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE (BMP) MANUAL, TABLES 11.3 AND 11.4.

MULCH: ALL SEEDS MUST BE IMMEDIATELY MULCHED TO PROMOTE ADEQUATE VEGETATIVE COVER. USE CLEAN CUT OR WHEAT STRAW, FREE OF WEEDS, NOT CHOPPED OR FINELY BROKEN. THE STRAW MUST BE FREE FROM MATURE SEED-BEARING STALKS OR ROOTS OF PROHIBITED OR NOXIOUS WEEDS AS DEFINED BY THE PENNSYLVANIA SEED ACT OF 1947.

APPLY MULCH AT A RATE OF 3 TONS PER ACRE (E.G., 140 POUNDS PER 1,000 SQUARE FEET OR 1.240 POUNDS PER 1,000 SQUARE YARDS). THE MULCH MUST BE ANCHORED IMMEDIATELY AFTER APPLICATION. A TRACTOR DRAWN IMPLEMENT MAY BE USED TO ANCHOR THE MULCH INTO THE SOIL. THIS METHOD IS LIMITED TO SLOPES SHALLOWER THAN OR EQUAL TO 3:1 AND THE EQUIPMENT MUST BE OPERATED ON THE CONTOUR.

STEEP SLOPE SEEDING SPECIFICATIONS

STEEP SLOPE SEEDING MIXTURE (FOR USE ON GRADES AT 3:1 OR GREATER SLOPES): ALL SLOPES GREATER THAN 3:1 SHALL BE COVERED WITH AN EROSION CONTROL BLANKET IN ADDITION TO RECEIVING A GRASS SEEDING MIXTURE.

WHEN CONDITIONS PERMIT, THE FOLLOWING SEEDING MIXTURE CAN BE UTILIZED ON STEEP SLOPES. SEED DATA WAS OBTAINED FROM THE PADEP EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE (BMP) MANUAL, TABLES 11.4 AND 11.5.

Table with columns: SPECIES, M, READY GERMINATION (%), TOTAL GERMINATION (%), PURE LIVE SEED SEEDING RATE (LBS/ACRE). Rows include Annual Ryegrass and Birdspout Trefoil.

1. PURE LIVE SEED (PLS) IS THE PRODUCT OF THE PERCENTAGE OF PURE SEED TIMES PERCENTAGE GERMINATION DIVIDED BY 100. FOR EXAMPLE, TO SECURE THE ACTUAL PLANTING RATE FOR ANNUAL RYEGRASS, DIVIDE THE PLS SEEDING RATE OF 10 LBS/ACRE BY THE PLS AS SHOWN ON THE SEED TAG. THIS, IF THE PLS CONTENT OF A GIVEN SEEDLOT IS 60%, DIVIDE 10 PLS (LBS/ACRE) BY 0.60 TO OBTAIN 16.7 LBS OF SEED REQUIRED TO PLANT ONE ACRE. ALL MIXTURES IN THIS TABLE ARE SHOWN IN TERMS OF PLS, LBS/ACRE.

MAINTENANCE PROGRAM

MAINTENANCE OF TEMPORARY CONTROLS:

MAINTAIN TEMPORARY CONTROL MEASURES THROUGHOUT THE PROJECT PERIOD AS OUTLINED IN THE "MAINTENANCE SCHEDULE" SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLANS AND NARRATIVE. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO PERFORM INSPECTIONS OF ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES TO ENSURE THAT THEY ARE WORKING PROPERLY. THESE INSPECTIONS MUST BE CONDUCTED WEEKLY, AND DURING OR IMMEDIATELY AFTER EVERY RUNOFF EVENT. INSPECTIONS WILL BE LOGGED ONTO DEPARTMENT FORM 3800-FM-BCW02714 (12/2019) OR MOST CURRENT VERSION TO BE USED AND WILL BE KEPT ON SITE AT ALL TIMES. THE INSPECTION WILL INCLUDE, BUT NOT BE LIMITED TO:

- 1) INSPECT ALL CONTROLS (INCLUDING COMPOST FILTER SOCKS) AND REPAIR OR REPLACE AS NEEDED.
2) INSPECT ALL SLOPES FOR EVIDENCE OF EROSION, AND REPAIR AS NEEDED.
3) INSPECT ALL SEEDED AREAS FOR SIGNS OF EROSION.
4) INSPECTION OF ALL INLET PROTECTION UNTIL THE CONTRIBUTORY DRAINAGE AREA TO BE CORRESPONDING INLET IS STABILIZED.
5) THE CLEANING AND REPAIR OF THE ROCK CONSTRUCTION ENTRANCE.

REPAIRS AND MAINTENANCE FOR ANY EROSION AND SEDIMENTATION CONTROL DEVICES MUST BE PERFORMED AS SOON AS THE OPERATIONS CAN BE SAFELY AND PRACTICALLY CARRIED OUT.

AN ADEQUATE SUPPLY OF ADDITIONAL EROSION/SEDIMENTATION CONTROL MATERIALS (E.G., STRAW BALES, EROSION NETTING, PLASTIC COVERING, WIRE MESH, SAND AND BURLAP, SANDBAGS, ROCKS AND GRAVEL) MUST BE STOCKPILED ON-SITE. THESE SUPPLIES MUST BE USED FOR EMERGENCY REPAIRS TO OR REPAIRS OF EXISTING SOIL EROSION AND SEDIMENTATION CONTROLS.

MAINTENANCE OF PERMANENT CONTROLS: THE OWNER/DEVELOPER WILL MAINTAIN PERMANENT CONTROL FACILITIES. CLEANING FREQUENCIES AND ULTIMATE DISPOSAL OF WASTE. CLEANING FREQUENCIES WILL BE DETERMINED WITHIN THE MAINTENANCE SCHEDULE. SILT AND SEDIMENT REMOVED FROM ALL CONTROL MEASURES SHOULD BE MIXED WITH SOIL DURING EARTHWORK AND PROPERLY DISPOSED OF ON-SITE.

ON-SITE SEDIMENT CONTROL PLAN MAINTENANCE SCHEDULE

CONTROL MEASURE INSPECT PROBLEMS POSSIBLE REMEDIES TO BE PERFORMED WITHIN 24 HOURS OR SOON AS SAFELY PRACTICAL.

VEGETATION ONCE A WEEK AND AFTER EVERY RUNOFF EVENT SEDIMENT AT TOE OF SLOPE RILLS AND GULLIES FORMING BARE SOIL PATCHES CHECK FOR TOE OF SLOPE DIVERSION AND INSTALL IF NEEDED. FILL RILLS AND REGRADE GULLED SLOPES. RESEED, FERTILIZE AND MULCH BARE AREAS.

COMPOST FILTER SOCK (SILT/SOAK*) ONCE A WEEK AND AFTER EVERY RUNOFF EVENT RUNOFF ESCAPING AROUND BARRIER REMOVE ANCHOR WITH PROPER STAPLES. EXTEND BARRIER AS NEEDED. SEDIMENT LEVEL BUILDUP SECURELY SEED WHEN LEVEL REACHES HALF (1/2) THE HEIGHT OF THE BARRIER.

INLET PROTECTION ONCE A WEEK AND AFTER EVERY RUNOFF EVENT SEDIMENT BUILD-UP REDUCED LOW CAPACITY MISSING MATERIALS FLOODING AROUND OR BELOW INLET REMOVE ACCUMULATED SEDIMENT WHEN LEVEL REACHES HALF (1/2) THE HEIGHT OF THE BMP. REPLACE INLET PROTECTION IMMEDIATELY. REPAIR OR REPLACE PROTECTION MATERIALS AS NEEDED.

ROCK CONSTRUCTION ENTRANCE DAILY AND AFTER EACH RUNOFF EVENT LOST AND/OR DISLOGGED STONES REPLACE MISSING STONES SO AS TO MAINTAIN SPECIFIED DIMENSIONS.

ROCK CONSTRUCTION ENTRANCE DAILY AND AFTER EACH RUNOFF EVENT SEDIMENT DEPOSITED IN PAVED ROADWAYS AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE RETURNED TO THE CONSTRUCTION SITE.

EROSION CONTROL BLANKETS (ECB & TRM) ONCE A WEEK AND AFTER EVERY RUNOFF EVENT SCOUR BENEATH NETTING RE-INSTALL PROPER ECB MATERIAL AND RE-GRADE BEDDING. MAKE SURE MATERIAL IS INSTALLED AND ANCHORED AS PER THE MANUFACTURER'S RECOMMENDATIONS. RE-SEED IF NECESSARY.

COMPOST SOCK CONCRETE WASHOUT DAILY AND AFTER EACH USE DAMAGED OR LEAKING DEACTIVATE WASHOUT AND REPAIR OR REPLACE IMMEDIATELY. ACCUMULATED MATERIALS ARE > 75% CAPACITY REMOVE EXCESS ACCUMULATED MATERIALS WHEN 75% CAPACITY IS REACHED. REPLACE PLASTIC LINING WITH EACH CLEANING OF THE WASHOUT FACILITY.

ROCK FILTER AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT ACCUMULATED SEDIMENT OR DISPLACED ROCKS SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE HEIGHT OF THE FILTER. DISPLACED STONE SHALL BE REPLACED IMMEDIATELY.

GENERAL NOTES - NPDES PERMIT REQUIREMENTS

IN ADDITION TO THE PERMIT APPLICANT, ANYONE PERFORMING ACTIVITIES RESULTING IN ANY EARTH DISTURBANCE IS REQUIRED TO BE ADDED TO THE NPDES PERMIT AS A CO-PERMITTEE.

IMPORTANT - POST CONSTRUCTION STORMWATER MANAGEMENT (PCSM) INSTRUMENT FILING NOTICE: THE PERMITTEE OR CO-PERMITTEE SHALL RECORD, WITH THE RECORDER OF DEEDS OFFICE, THE INSTRUMENT WITHIN 45 DAYS FROM THE DATE OF THE NPDES PERMIT ISSUANCE OR AUTHORIZATION, AND SHALL PROVIDE THE CONSERVATION DISTRICT AND THE PAPER WRITTEN DOCUMENTATION CONTAINING THE DATE AND PLACE OF RECORDING ALONG WITH A REFERENCE TO THE DEED, DEED BOOK OR OTHER RECORD, WITHIN 90 DAYS FROM THE DATE OF THE NPDES PERMIT ISSUANCE OR AUTHORIZATION.

ANY PROJECT WHICH RESULTS IN EARTH DISTURBANCE ACTIVITIES THAT DISTURB EQUAL TO OR GREATER THAN ONE (1) ACRE IS SUBJECT TO PADEP APPROVAL OF COVERAGE UNDER THE GENERAL OR INDIVIDUAL NPDES PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES. ANY AND ALL CONSTRUCTION ENGAGED IN EARTH DISTURBANCE ACTIVITIES, INCLUDING DEMOLITION, UTILITY LINE CONSTRUCTION, GRADING ACTIVITIES, INSTALLATION OF STORMWATER MANAGEMENT SYSTEMS, ETC., SHALL SECURE A COPY OF THE NPDES PERMIT FOR THIS PROJECT, AND FAMILIARIZE THEMSELVES WITH THE PERMIT REQUIREMENTS.

UPON AWARD OF CONTRACT FOR ANY EARTH DISTURBANCE ACTIVITIES NOTED ABOVE, THAT CONTRACTOR SHALL BE DESIGNATED AS A CO-PERMITTEE, IN ACCORDANCE WITH THE REQUIREMENTS OF PADEP, AND SHALL COMPLETE AND SUBMIT ALL APPROPRIATE FORMS AND NOTIFICATIONS, ALONG WITH THE OWNER, PRIOR TO ANY SITE MOBILIZATION.

THE GENERAL CONTRACTOR (OR IF NO GENERAL CONTRACTOR IS ASSIGNED, THE PRIME CONTRACTOR RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES, AS DESIGNATED BY THE OWNER AND/OR ARCHITECT), AS CO-PERMITTEE, IS RESPONSIBLE FOR ENSURING THAT A LICENSED PROFESSIONAL HAVE OVERSIGHT RESPONSIBILITIES FOR THE PROPER INSTALLATION OF BMPs IDENTIFIED IN THE PCSM PLAN PRIOR TO THE SUBMISSION OF THE NOTICE OF TERMINATION, AS REQUIRED BY THE CONDITIONS OF THE NPDES PERMIT.

AS NOTED IN THE OTHER SECTIONS OF THESE PLANS AND DOCUMENTS, THE GENERAL CONTRACTOR (OR IF NO GENERAL CONTRACTOR IS ASSIGNED, THE PRIME CONTRACTOR RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES, AS DESIGNATED BY THE OWNER AND/OR ARCHITECT) SHALL COMPLETE THE NOTICE OF TERMINATION (NOT), AS REQUIRED BY THE CONDITIONS OF PERMIT. COMPLETE THE "WEEKLY INSPECTION CHECKLIST" FOR GENERAL NPDES PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, AND PROVIDE COPIES OF THE INSPECTION REPORT TO BE KEPT ON-SITE DURING CONSTRUCTION ACTIVITIES AND AVAILABLE FOR REVIEW.

IMPORTANT - AS PART OF THE COMPLETION OF THE NOTICE OF TERMINATION (NOT), AN AS-BUILT RECORD DRAWING MUST BE GENERATED. THE GENERAL CONTRACTOR (OR IF NO GENERAL CONTRACTOR IS ASSIGNED, THE PRIME CONTRACTOR RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES, AS DESIGNATED BY THE OWNER AND/OR ARCHITECT) SHALL SECURE THE AS-BUILT RECORD DRAWINGS THROUGH THE SERVICES OF A LICENSED SURVEYOR. THE AS-BUILT RECORD DRAWING SHALL ACCURATELY DEPICT THE AS-BUILT/AS-CONSTRUCTED CONDITIONS FOR ALL STORMWATER/PCSM BMPs, RELATED STRUCTURES, AND STORMWATER CONVEYANCES IDENTIFIED IN THE PCSM PLAN AND DRAWINGS IN ADDITION TO THE AS-CONSTRUCTED GRADES AND OTHER SITE IMPROVEMENTS. THE COMPLETED AS-BUILT RECORD DRAWING MUST BE RETAINED BY THE GENERAL CONTRACTOR (OR IF NO GENERAL CONTRACTOR IS ASSIGNED, THE PRIME CONTRACTOR RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES, AS DESIGNATED BY THE OWNER AND/OR ARCHITECT) TO THE RECORDER OF DEEDS AND PLACED WITH THE POST CONSTRUCTION STORMWATER MANAGEMENT (PCSM) INSTRUMENT FILING NOTICE. A COPY OF THE PROJECT'S AS-BUILT RECORD DRAWING SHALL BE ATTACHED TO THE NOTICE OF TERMINATION (NOT). THE GENERAL CONTRACTOR (OR IF NO GENERAL CONTRACTOR IS ASSIGNED, THE PRIME CONTRACTOR RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES, AS DESIGNATED BY THE OWNER AND/OR ARCHITECT) SHALL ALSO PROVIDE A COPY, AS PART OF THE APPROVED PCSM PLAN, TO THE PERSONS IDENTIFIED IN THE NOTICE OF TERMINATION (NOT), AS BEING RESPONSIBLE FOR THE LOCAL WATER BODY'S CLEAN WATER ACT (CWA) COMPLIANCE. ADDITIONAL COPIES OF THE NOTICE OF TERMINATION (NOT) AND AS-BUILT RECORD DRAWING SHALL ALSO BE PROVIDED TO THE LOCAL MUNICIPALITY.

FURTHER NOTES

1. THE PURPOSE OF THIS EROSION AND SEDIMENTATION CONTROL PLAN IS TO MINIMIZE EXTENT AND DURATION OF EARTH DISTURBANCE, MAXIMIZE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION, AND MINIMIZE SOIL COMPACTION.

2. IMPORTANT: STORMWATER RUNOFF IS NOT TO BE DIRECTED TO UNPROTECTED STORMWATER MANAGEMENT SYSTEM, STORMWATER CONVEYANCE SYSTEMS, OR INFILTRATION BED AREAS UNTIL THE SITE IS AT FINAL GRADE AND STABILIZED.

3. ALL PARTIES RESPONSIBLE FOR THE EXCAVATION OF SITE MATERIALS OR THE IMPORT OF FILL MATERIALS ARE RESPONSIBLE TO ENSURE THAT "ENVIRONMENTAL DUE DILIGENCE" IN THE DETERMINATION OF CLEAN FILL MATERIAL IS EITHER REMOVED FROM THE SITE OR USED AS FILL FOR THE SITE. ANY MATERIAL IDENTIFIED AS HAZARDOUS MUST BE DISPOSED IN ACCORDANCE WITH ALL APPLICABLE STATE AND FEDERAL GUIDELINES AND REGULATIONS.

A) ENVIRONMENTAL DUE DILIGENCE - INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF OWNERSHIP AND USE HISTORY OF PROPERTY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.

4. NO BUILDING MATERIALS, WASTES, OR UNUSED BUILDING MATERIALS SHALL BE BURNED, DUMPED, OR DISCARDED ON THE SITE. THE FOLLOWING DEFINE WHAT SHOULD BE CONSIDERED "CONSTRUCTION WASTES" AND "CLEAN FILL":

- A) CONSTRUCTION WASTES - INCLUDES BUT IS NOT LIMITED TO: EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY.
B) CLEAN FILL - UNCONTAMINATED, NON-WATER-SOLUBLE, NON-DECOMPOSTABLE, INERT SOLID MATERIAL. THIS INCLUDES SOIL, ROCK, STONE, BRICKED MATERIAL, USED ASPHALT AND BRICK, BLOCK, OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. IT DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE SURFACE WATERS UNLESS OTHERWISE AUTHORIZED, HIGHLIGHT ASPHALT, OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.

5. DURING UTILITY LINE CONSTRUCTION, EXCAVATE UTILITY LINE TRENCHES ONLY AS REQUIRED. LIMIT ADEQUATE EXCAVATION TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUS INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY. IF REQUIRED, TRENCH PLUGS, AS SHOWN PER DETAIL, ARE TO BE INSTALLED PER PADEP CHAPTER 102 REQUIREMENTS. WATER WHICH ACCUMULATES IN THE OPEN TRENCH, WILL BE COMPLETELY REMOVED BY PUMPING WATER INTO A FILTER BAG IN ACCORDANCE WITH PADEP CHAPTER 102 REQUIREMENTS. ON THE FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL GRADE, AND SEEDED AND MULCHED PER THE PERMANENT SEEDING SCHEDULE.

6. COMPOST FILTER SOCKS (FILTREX SILT/SOAK**), SEDIMENTATION TRAPP**, INLET/SOAK**, RUNOFF DIVERSION SOCK** AND ANY OTHER FILTREX BMPs EMPLOYED AS PART OF THE EROSION AND SEDIMENTATION CONTROL PLAN FOR THE PROJECT MUST FOLLOW THE MANUFACTURER'S DISPOSAL/RECYCLING INSTRUCTIONS FOR EACH SPECIFIC BMP UTILIZED THROUGHOUT THE PROJECT'S CONSTRUCTION AND EARTHWORK OPERATIONS.

7. DURING FOUNDATION CONSTRUCTION, PUMP WATER ACCUMULATED IN OPEN TRENCHES INTO FILTER BAGS IN ACCORDANCE WITH PADEP CHAPTER 102 REQUIREMENTS. REFER TO DETAIL. WHEN FILTER BAG IS FULL IT SHOULD BE REPLACED. ANY ACCUMULATED SEDIMENTATION WILL BE MIXED WITH SOIL AND PROPERLY DISPOSED OF ON THE SITE IF POSSIBLE OR DISPOSED OF AT AN OFF-SITE AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL EXCESS MATERIALS OFF-SITE TO AN APPROVED FACILITY.

8. EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE WITHIN THE CONTRIBUTORY DRAINAGE AREAS OF THOSE CONTROLS.

9. AFTER FINAL SITE STABILIZATION IS ACHIEVED, TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED, AREAS DISTURBED DURING REMOVAL OF THE CONTROLS MUST BE IMMEDIATELY STABILIZED. FINAL STABILIZATION IS DEFINED AS THE ACHIEVEMENT OF A MINIMUM UNIFORM 70% VEGETATIVE COVER OR EROSION RESISTANT PERENNIAL SPECIES HAS BEEN ACHIEVED ON ALL CONTRIBUTORY DRAINAGE AREAS.

10. SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH RUNOFF EVENT.

11. ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED AND WHICH WILL REMAIN EXPOSED FOR MORE THAN 4 DAYS MUST BE TEMPORARILY STABILIZED. DISTURBED AREAS THAT ARE EITHER AT FINISHED GRADE, OR ANY GRADED AREA OF 15,000 FT² OR MORE REQUIRES FINAL GRADE, OR WILL NOT BE DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT SEEDING SPECIFICATIONS.

OPERATION AND MAINTENANCE

SITE ACCESS: ROCK CONSTRUCTION ENTRANCE

REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE. RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. THE BERM SHALL BE MAINTAINED APPROPRIATELY FOR SIZE OF CULVERT BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL SHALL BE MAINTAINED ON SITE FOR THE PROJECT. DRAIN SPACE UNDER WASH RACK SHALL BE KEPT OPEN AT ALL TIMES. DAMAGE TO THE WASH RACK SHALL BE REPAIRED PRIOR TO FURTHER USE OF THIS RACK. ALL SEDIMENT DEPOSITED ON ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. WASHING THE ROADWAY OR ENTERING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

PUMPED WATER FILTER BAG

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

Table with columns: PROPERTY, TEST METHOD, MINIMUM STANDARD. Rows include Avg. Wide Width Strength, Grab Tensile, Puncture, Mullen Burst, UV Resistance, and AOS % Retained.

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE PLACED WHEN THEY BECOME 7/8 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE REPAIRED ON STRAITS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MUST BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 3:1. FOR SLOPES EXCEEDING 5:1, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAGS TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERHEADS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

CONCRETE WASHOUT

FOR ANY PROJECT ON WHICH CONCRETE WILL BE POURED OR OTHERWISE FORMED ON SITE, A SUITABLE WASHOUT FACILITY MUST BE PROVIDED FOR THE CLEANING OF CURBS, REINFORCING, AND FORMS OF THE DELIVERY VEHICLES UNLESS SUCH A FACILITY WILL BE USED AT THE SOURCE OF THE CONCRETE. UNDER NO CIRCUMSTANCES MAY WASH WATER FROM THESE VEHICLES BE ALLOWED TO ENTER ANY SURFACE WATERS. MAKE SURE THAT PROPER SIGNAGE IS PROVIDED TO DRIVERS SO THAT THEY ARE AWARE OF THE PRESENCE OF WASHOUT FACILITIES.

WASHOUT FACILITIES SHOULD NOT BE PLACED WITHIN 50 FEET OF STORM DRAINS, OPEN DITCHES OR SURFACE WATERS. THEY SHOULD BE IN A CONVENIENT LOCATION FOR THE DRIVERS, AND SHOULD BE SIZED TO HANDLE SOLID WASH WATER, AND RETURN OF THE WASH WATER TO THE SOURCE OF THE CONCRETE. UNDER NO CIRCUMSTANCES MAY ACCIDENTAL DAMAGE OR SPILLS, WHEREVER POSSIBLE, THEY SHOULD BE LOCATED ON SLOPES NOT EXCEEDING A 2% GRADE. ADDITIONAL INFORMATION ON WASHOUTS MAY BE OBTAINED FROM EPA'S STORMWATER WEBSITE AT: HTTP://CWPUB.PUBLIC.EPA.GOV/STORMWATER/NEWS/BMP/INDEX.CFM?ACTION=Browse&SUBACTION=DETAIL&BMP=117&MINI=AS&ID=4.

COMPOST SOCK WASHOUT - WHEREVER COMPOST SOCK WASHOUTS ARE USED, A SUITABLE IMPERVIOUS GEMEMBRANE SHOULD BE PLACED AT THE LOCATION OF THE WASHOUT. COMPOST SOCKS SHOULD BE STAKED IN THE MANNER RECOMMENDED BY THE MANUFACTURER AROUND PERIMETER OF THE GEMEMBRANE SO AS TO FORM A RING WITH THE ENDS OF THE SOCK LOCATED AT THE UPSLOPE CORNER. CARE SHOULD BE TAKEN TO ENSURE CONTINUOUS CONTACT OF THE SOCK WITH THE GEMEMBRANE AT ALL LOCATIONS. WHERE NECESSARY, SOCKS MAY BE STAKED AND STAPED SO AS TO FORM A TRIANGULAR CROSS-SECTION.

A SUITABLE IMPERVIOUS GEMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS. PREFABRICATED WASHOUT CONTAINERS - CARE SHOULD BE TAKEN TO ENSURE THAT THE CONTAINERS ARE INTENDED BY THE MANUFACTURER FOR USE AS CONCRETE WASHOUT BMPs, THAT THEY ARE WATER/TIGHT, AND APPROPRIATELY SIZED. ACCUMULATED MATERIALS MUST BE PROPERLY DISPOSED OF (PREFERABLY RECYCLED) WHEN THEY REACH THE CLEANOUT LEVEL.

SELF-INSTALLED WASHOUTS - THESE TYPES OF WASHOUTS SHOULD BE EXCAVATED BELOW GRADE TO PREVENT RUNOFF OF THE WASH WATER AND MINIMIZE THE POTENTIAL FOR CREEKS, RIVERS, AND HOPERS OF THE DELIVERY VEHICLES UNLESS SUCH A FACILITY WILL BE USED AT THE SOURCE OF THE CONCRETE. UNDER NO CIRCUMSTANCES MAY WASH WATER FROM THESE VEHICLES BE ALLOWED TO ENTER ANY SURFACE WATERS. MAKE SURE THAT PROPER SIGNAGE IS PROVIDED TO DRIVERS SO THAT THEY ARE AWARE OF THE PRESENCE OF WASHOUT FACILITIES.

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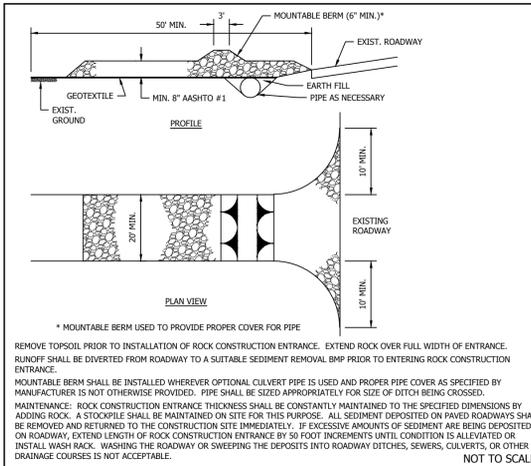
FOR LARGER SITES, A BELOW-GRADE WASHOUT SHOULD BE A MINIMUM OF 10 FEET WIDE AND PROVIDE AT LEAST 12 INCHES OF FREEBOARD ABOVE THE LIQUID AND SOLID WASTE ANTICIPATED BETWEEN CLEANOUT INTERVALS. THE PIT SHOULD BE LINED WITH PLASTIC SHEETING OF AT LEAST 10-MIL THICKNESS (WITH NO HOLES OR TEARS) TO PREVENT LEAKING OF LIQUIDS INTO THE GROUND.

WASHWATER RECYCLING SYSTEMS - WASHWATER RECYCLING SYSTEMS HAVE ALSO BEEN DEVELOPED WHICH SEPARATE THE SOLIDS FROM THE WASHWATER, CAPTURED IN BOTH IMPERMEABLE BAGS AND ALLOWING THEM TO BE RECYCLED. THESE SYSTEMS MAY BE USED IN LIEU OF WASHOUTS IF MANUFACTURER'S SPECIFICATIONS ARE FOLLOWED. CARE MUST BE TAKEN TO PREVENT THE FILTERED WATER FROM ENTERING ANY SURFACE WATERS.

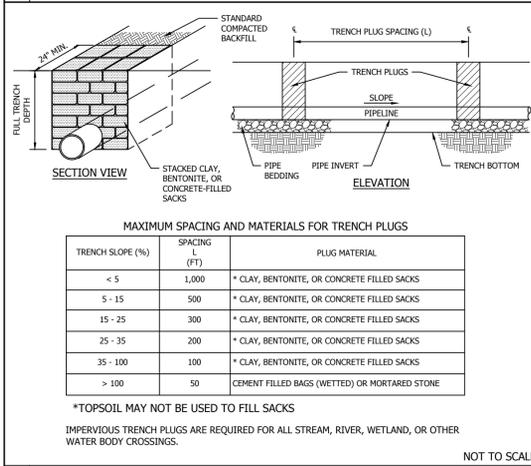
SEDIMENT BASINS AND SEDIMENT TRAPS - SEDIMENT BASINS AND SEDIMENT TRAPS MAY NOT BE USED AS CONCRETE WASHOUT DEVICES, SINCE THEY DISCHARGE DIRECTLY TO SURFACE WATERS. THIS DISCHARGE WOULD HAVE AN ADVERSE EFFECT UPON THE RECEIVING WATER. IN ADDITION, CONTINUED USE OF A BASIN OR TRAP AS A WASHOUT FACILITY WOULD SIGNIFICANTLY REDUCE THE STORAGE CAPACITY OF THE BASIN OR TRAP.

MAINTENANCE - ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY. DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY. ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACH 75% CAPACITY. PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.

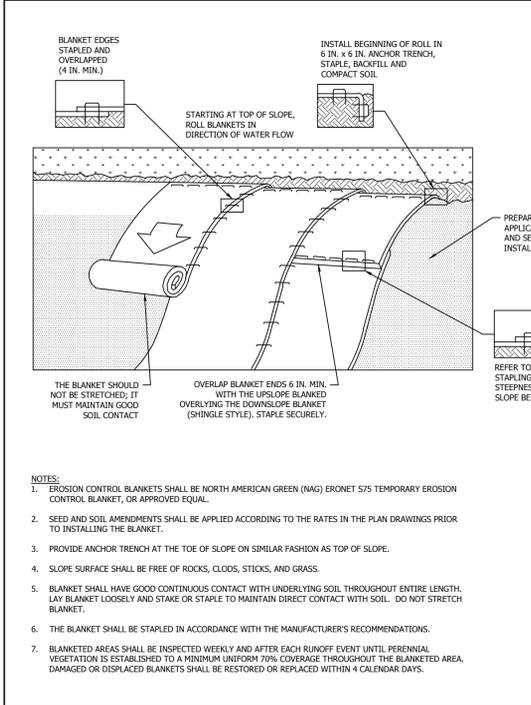
COMPOST FILTER SOCK



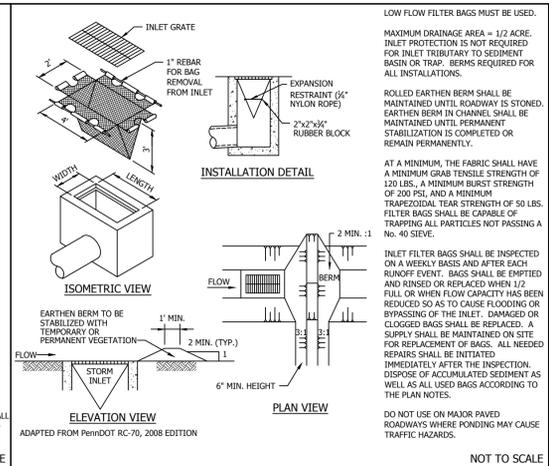
1 ROCK CONSTRUCTION ENTRANCE NOT TO SCALE



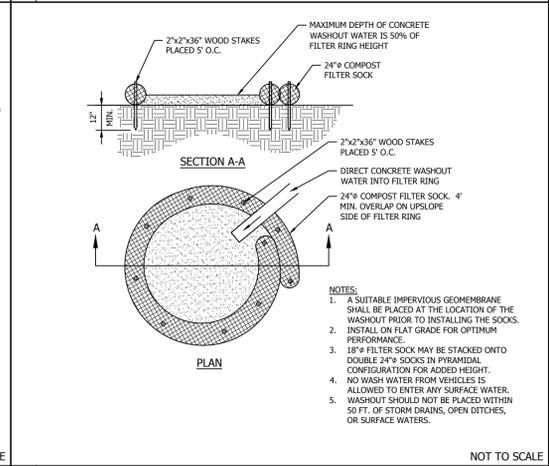
3 TRENCH PLUG NOT TO SCALE



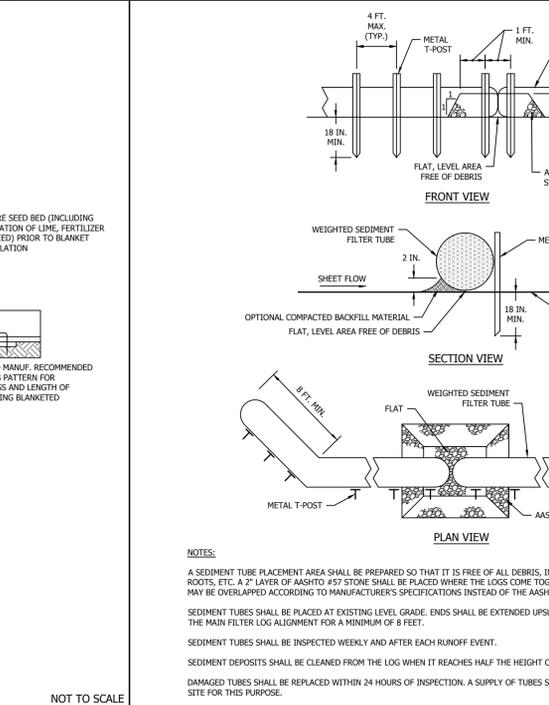
7 EROSION CONTROL BLANKET INSTALLATION (#11-1) NOT TO SCALE



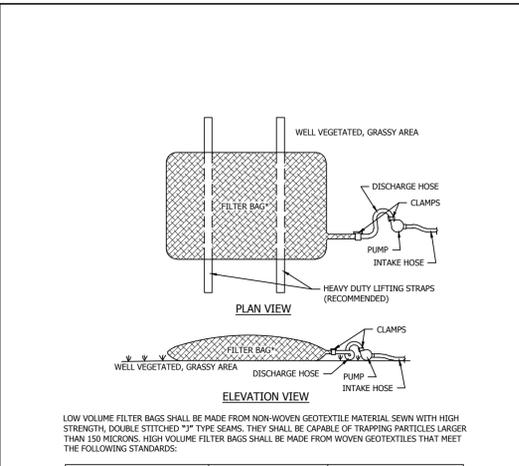
2 SILT SACK INLET PROTECTION NOT TO SCALE



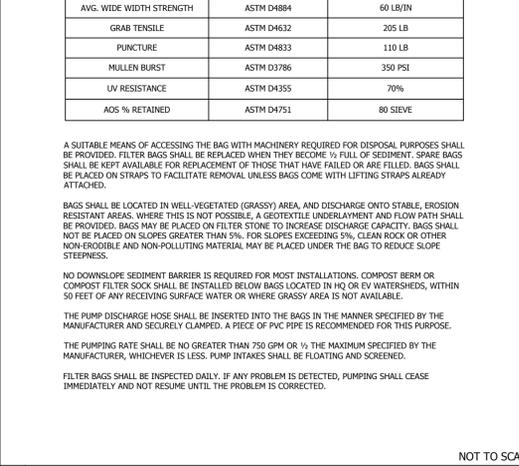
4 COMPOST SOCK CONCRETE WASHOUT NOT TO SCALE



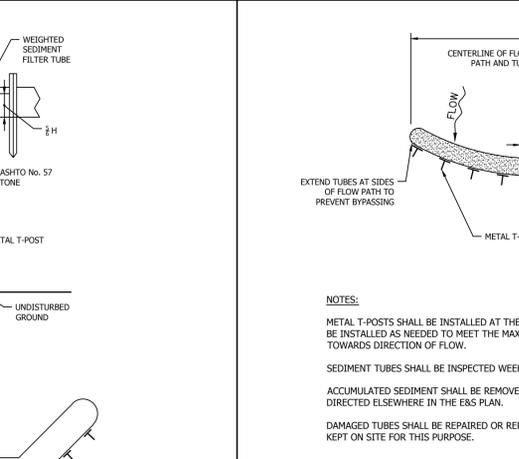
9 WEIGHTED SEDIMENT FILTER TUBE INSTALLATION (#4-3) NOT TO SCALE



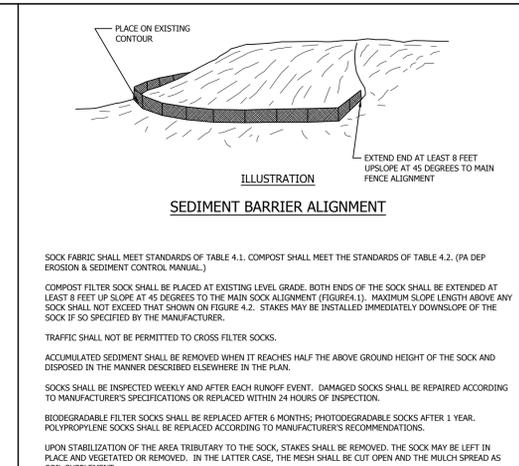
5 PUMPED WATER FILTER BAG NOT TO SCALE



6 COMPOST FILTER SOCK NOT TO SCALE



9 WEIGHTED SEDIMENT FILTER TUBE INSTALL. ACROSS A WIDE FLOW PATH (#4-5) NOT TO SCALE



10 TRENCHING OPERATIONS NOT TO SCALE

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D4884	60 LB/IN
GRAB TENSILE	ASTM D4632	205 LB
PUNCTURE	ASTM D4833	110 LB
MULLEN BURST	ASTM D3786	350 PSI
UV RESISTANCE	ASTM D4355	70%
AOS % RETAINED	ASTM D4751	80 SIEVE

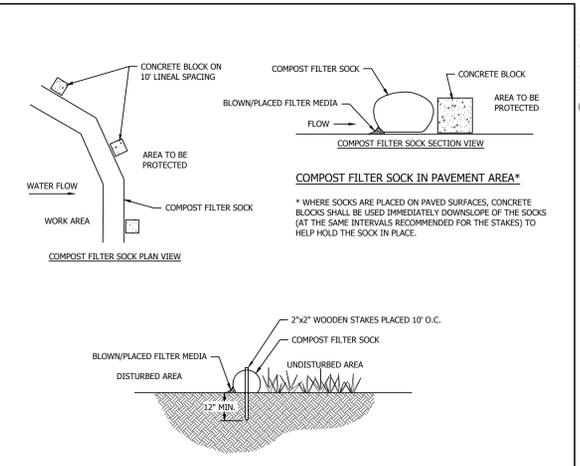
TABLE 4.1 COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS

MATERIAL TYPE	3 mil HDPE	5 mil HDPE	5 mil HDPE	MULTI-FILAMENT POLYPROPYLENE (MPP)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HDMPP)
MATERIAL CHARACTERISTICS	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	BIO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE
SOCK DIAMETERS	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	1/8"
TENSILE STRENGTH		26 PSI	26 PSI	44 PSI	202 PSI
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 HR.	23% AT 1000 HR.		100% AT 1000 HR.	100% AT 1000 HR.
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS

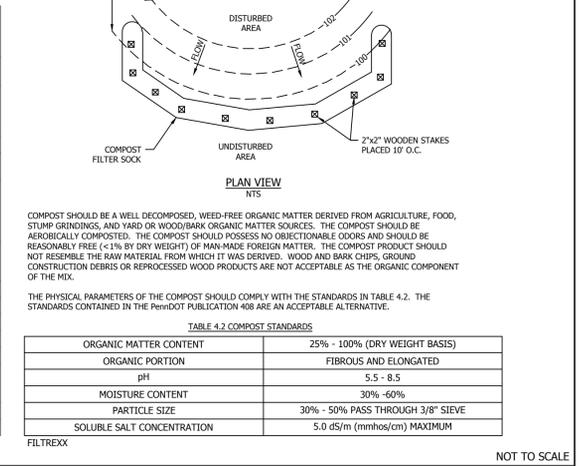
TABLE 4.2 COMPOST STANDARDS

ORGANIC MATTER CONTENT	25% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 - 8.5
MOISTURE CONTENT	30% - 60%
PARTICLE SIZE	30% - 50% PASS THROUGH 3/8" SIEVE
SOLUBLE SALT CONCENTRATION	5.0 dS/m (mmhos/cm) MAXIMUM

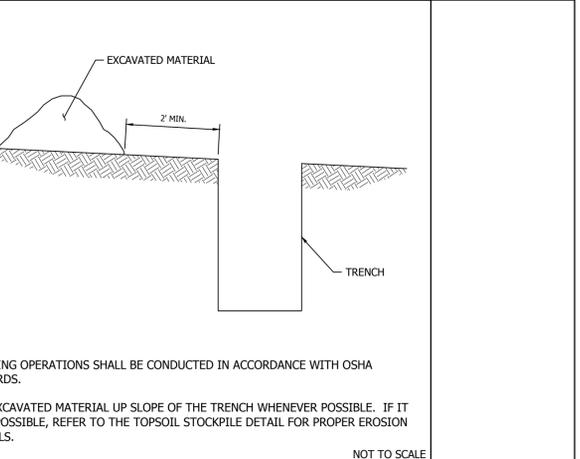
TABLE 4.3 COMPOST STANDARDS



10 COMPOST FILTER SOCK NOT TO SCALE



9 WEIGHTED SEDIMENT FILTER TUBE INSTALL. ACROSS A WIDE FLOW PATH (#4-5) NOT TO SCALE



10 TRENCHING OPERATIONS NOT TO SCALE



9 WEIGHTED SEDIMENT FILTER TUBE INSTALL. ACROSS A WIDE FLOW PATH (#4-5) NOT TO SCALE

Owner/Developer:
AutoZone Development, LLC
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
For Bidding & Contractor Information Contact:
F. W. Dodge Plan Room Tel: (615) 884-1017



PREPARED FOR:
AutoZone
Store No.: 8887
550 ROUTE 6 & 203
TOWNSHIP OF MILFORD, COUNTY OF PIKE
COMMONWEALTH OF PENNSYLVANIA

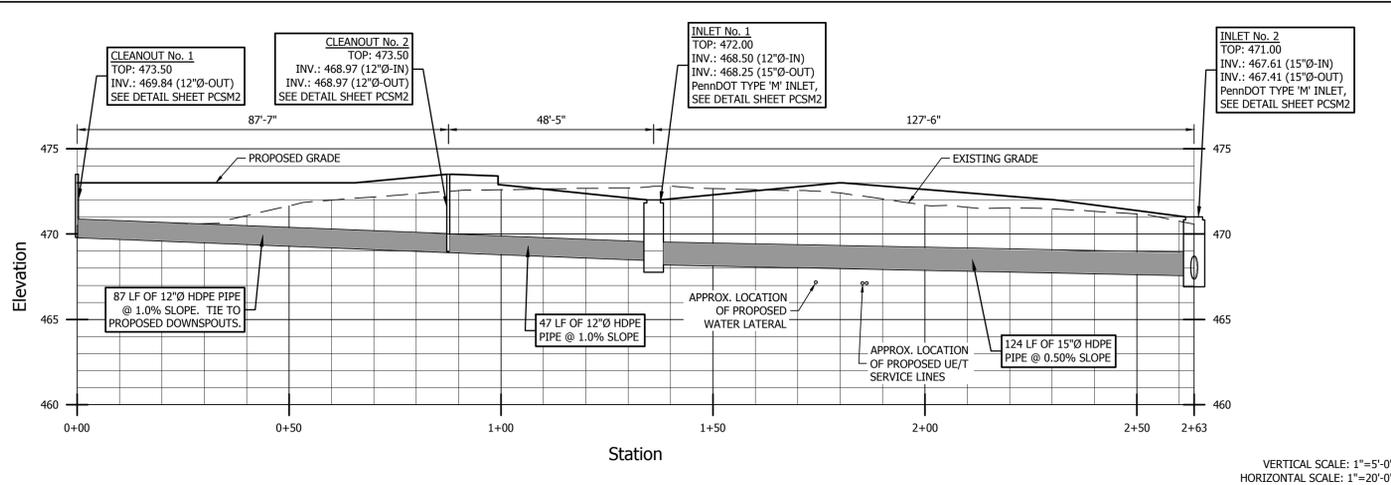
SCALE: AS NOTED

REVISIONS	PER COMMENTS
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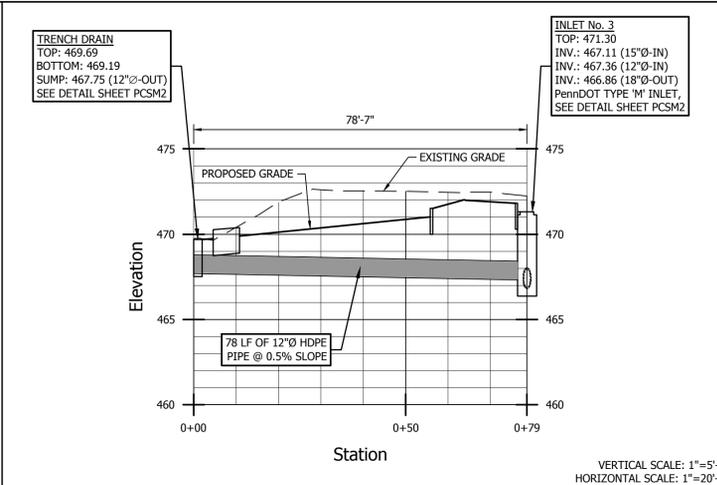
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CHECKED BY: CAD
DATE: 11-13-2025
PROTOTYPE SIZE: 7x2-L

REGISTERED PROFESSIONAL ENGINEER
THOMAS A. DEANGELO
PENNSYLVANIA

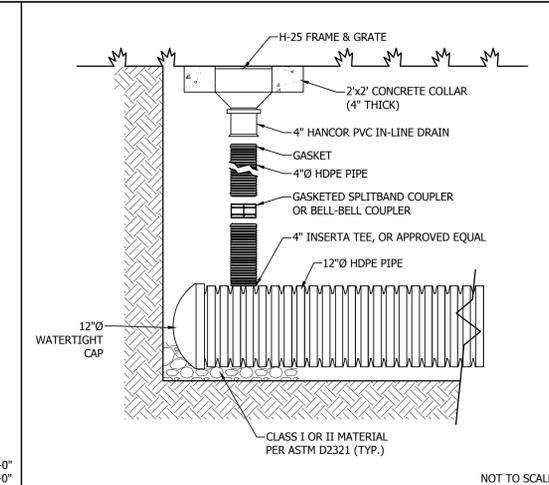
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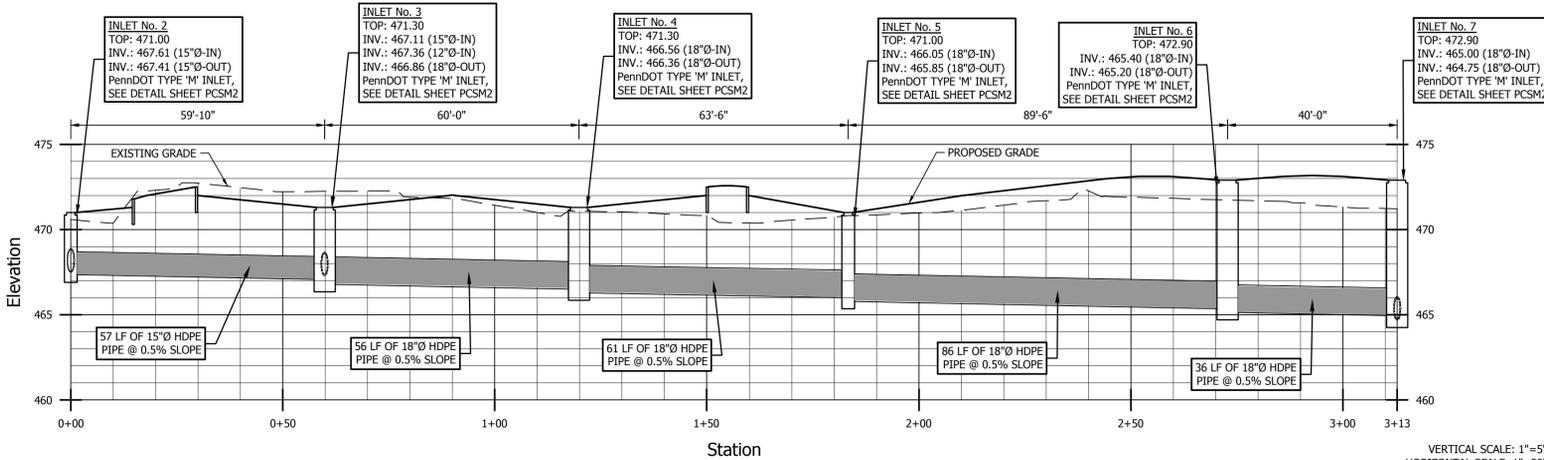
1 STORM PROFILE - CLEANOUT No. 1 TO INLET No. 2



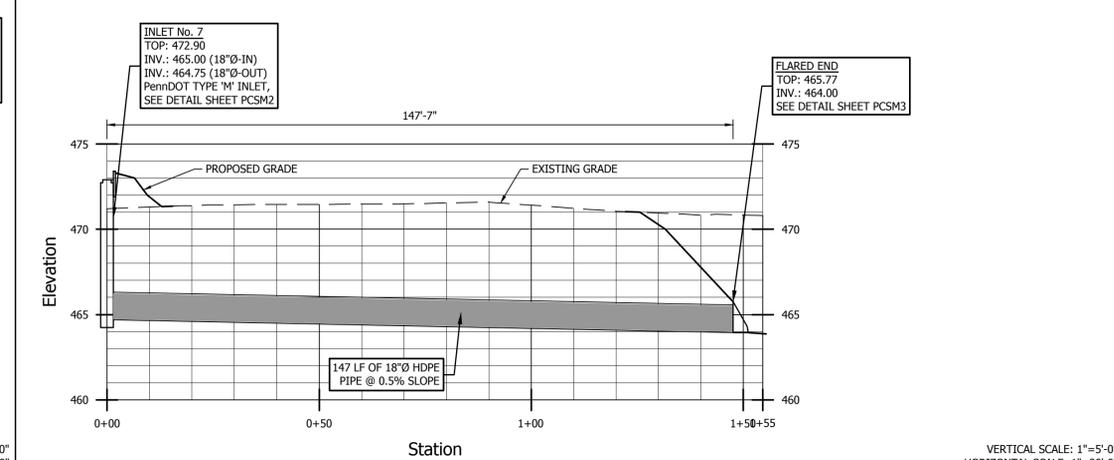
2 STORM PROFILE - TRENCH DRAIN TO INLET No. 3



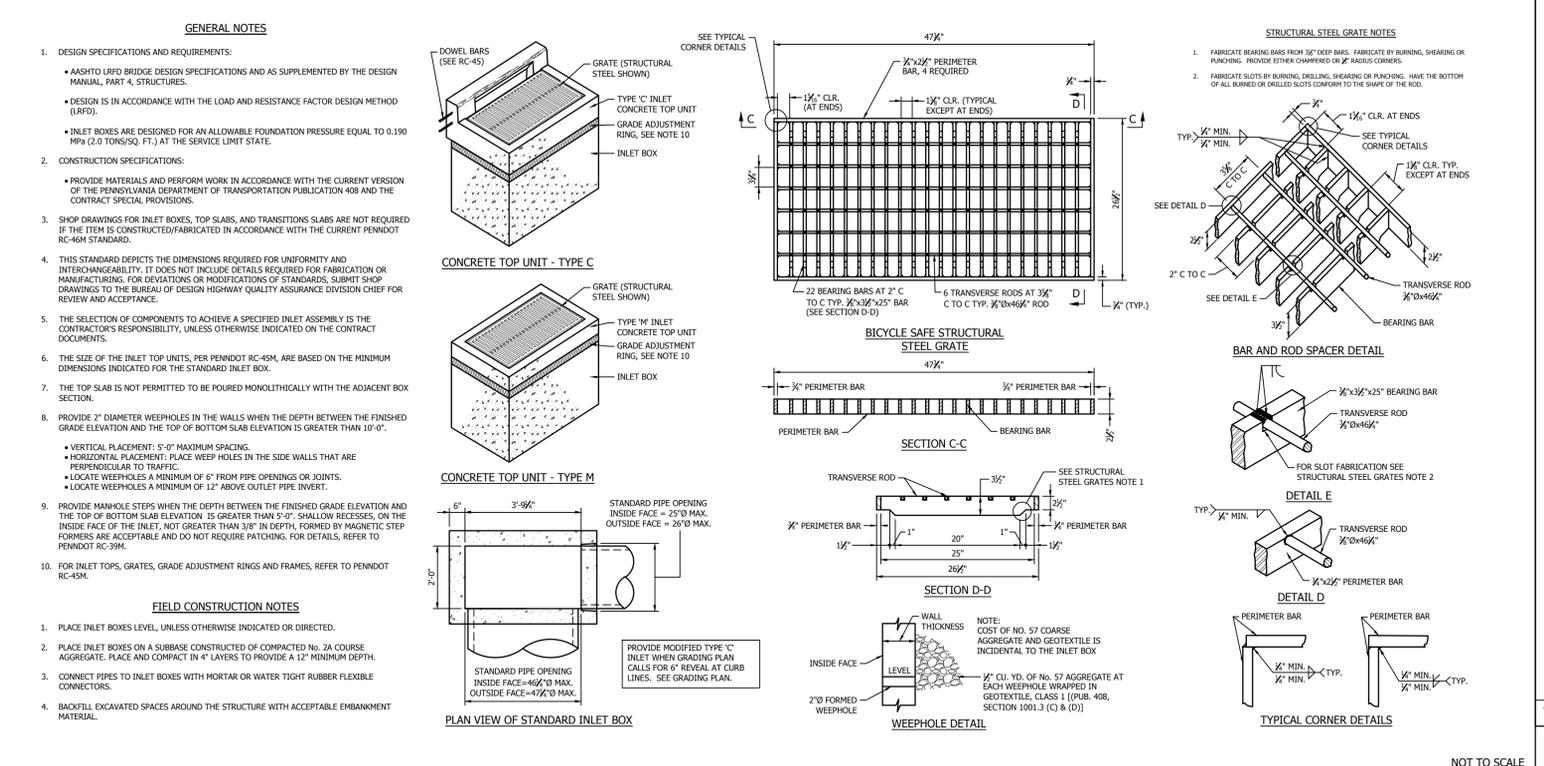
3 TYPICAL STORMWATER CLEANOUT



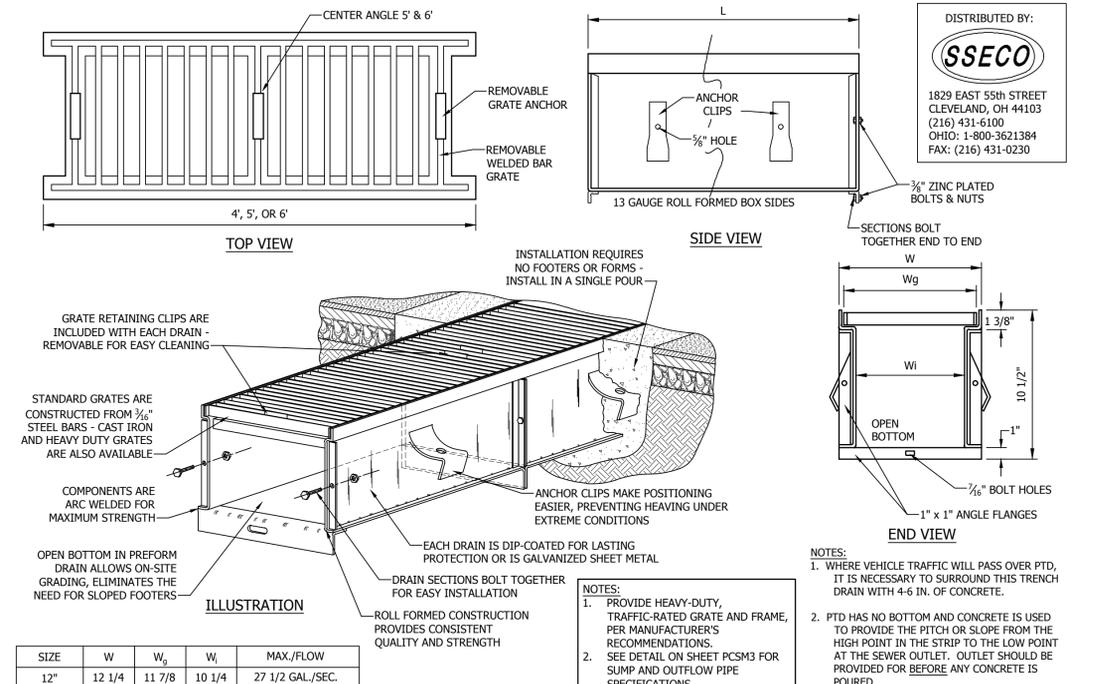
4 STORM PROFILE - INLET No. 2 TO INLET No. 7



5 STORM PROFILE - INLET No. 7 TO FLARED END

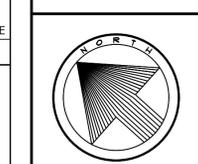


6 PennDOT RC-46 TYPE 'M' & TYPE 'C' INLETS



7 PREFORM TRENCH DRAIN

Owner/Developer:
AutoZone Development, LLC
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
For Bidding & Contractor Information Contact:
F.W. Dodge Plan Room Tel: (615) 884-1017



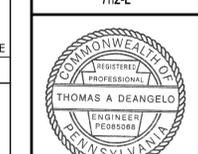
PREPARED FOR:
AutoZone
Store No.: 6887
550 ROUTE 6 & 203
TOWNSHIP OF MILFORD, COUNTY OF PIKE
COMMONWEALTH OF PENNSYLVANIA

POST-CONSTRUCTION STORMWATER MANAGEMENT DETAILS

SCALE: AS NOTED

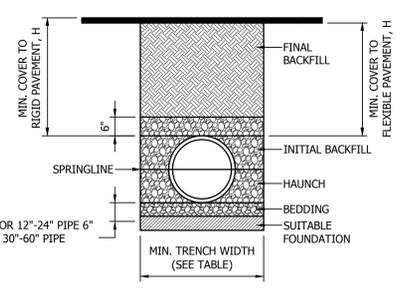
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6.			
7.			
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DRAFTSMAN: CWT
CHECKED BY: CAD
DATE: 11-13-2025
PROTOTYPE SIZE: 7x2-L



PCSM2
Sheet 13 of 22

- NOTES:**
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
 - MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FIBES INTO BACKFILL MATERIAL, WHEN REQUIRED.
 - FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
 - BEDDING:** SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-900mm).
 - INITIAL BACKFILL:** SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
 - MINIMUM COVER:** MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATING. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.



RECOMMENDED MIN. TRENCH WIDTHS

PIPE DIAM.	MIN. TRENCH WIDTH
4"	21"
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
54"	88"
60"	96"

MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAM.	SURFACE LIVE LOADING CONDITION	
	H-25	HEAVY CONSTRUCTION (75T AXLE LOAD) *
12" - 48"	12"	48"
54" - 60"	24"	60"

* VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER

MINIMUM RECOMMENDED COVER BASED ON RAILWAY LOADING CONDITIONS

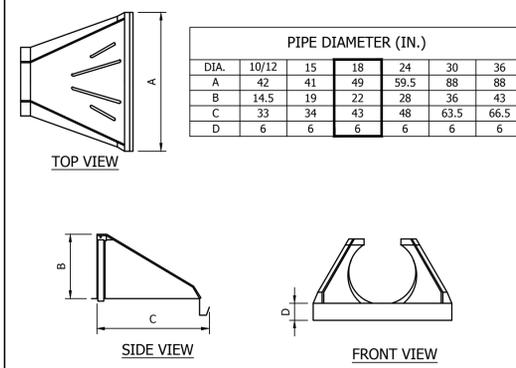
PIPE DIAM.	COOPER E-80**	
	UP TO 24"	24"
30"-36"	36"	
42"-60"	48"	

** COVER IS MEASURED FROM TOP OF PIPE TO BOTTOM OF RAILWAY TIE.
*** E-80 COVER REQUIREMENTS, ARE ONLY APPLICABLE TO ASTM F 2306 PIPE.



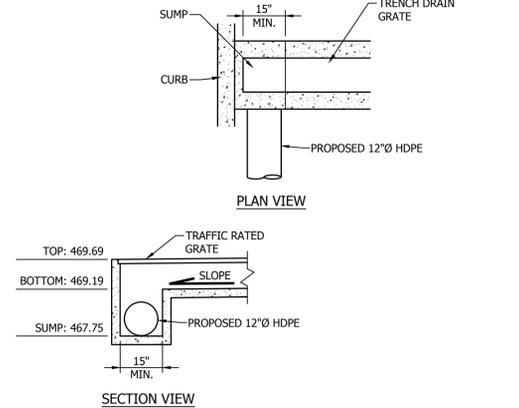
NOT TO SCALE

1 TYPICAL TRENCH DETAIL



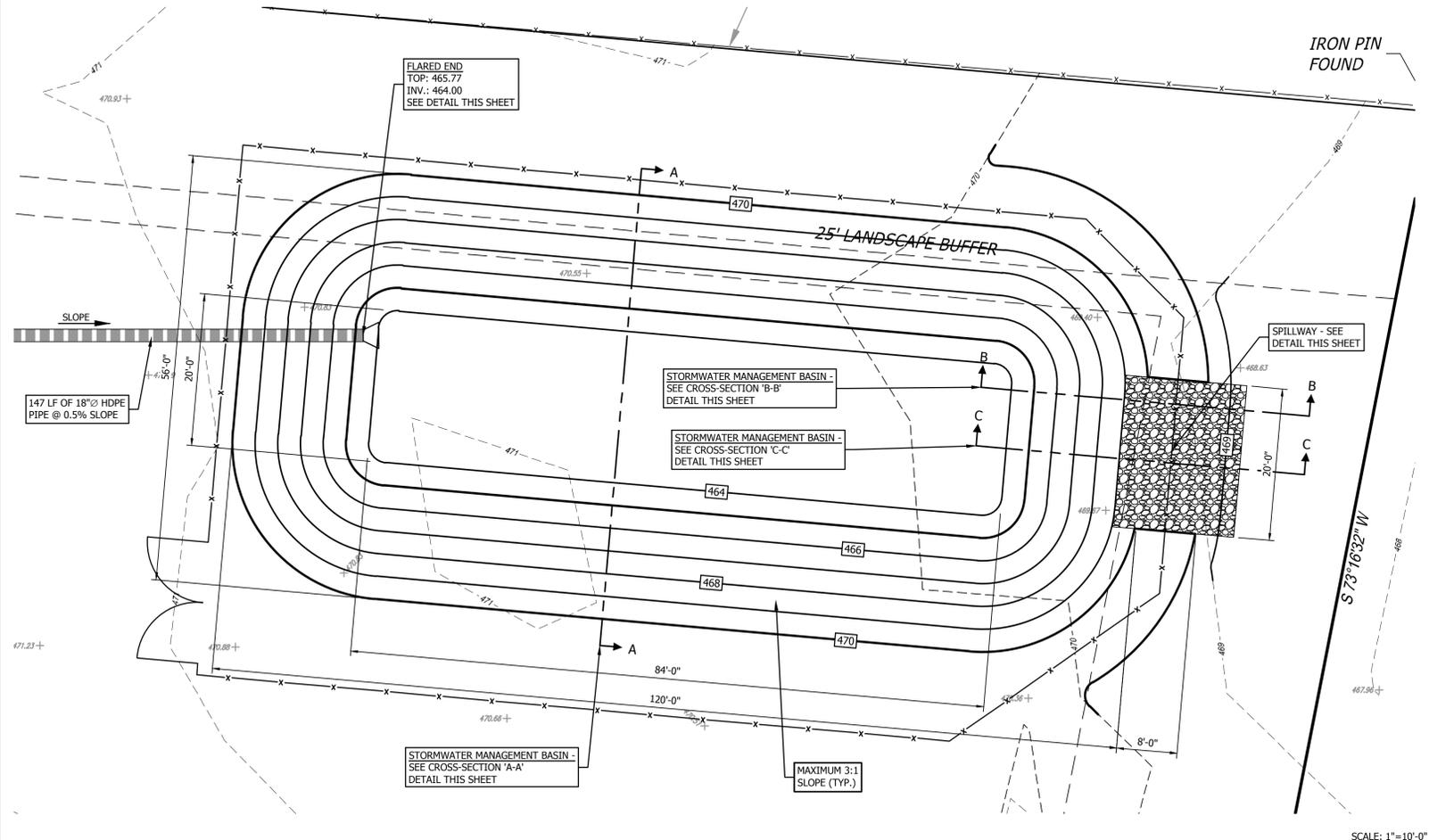
NOT TO SCALE

2 HANCOR FLARED END SECTION



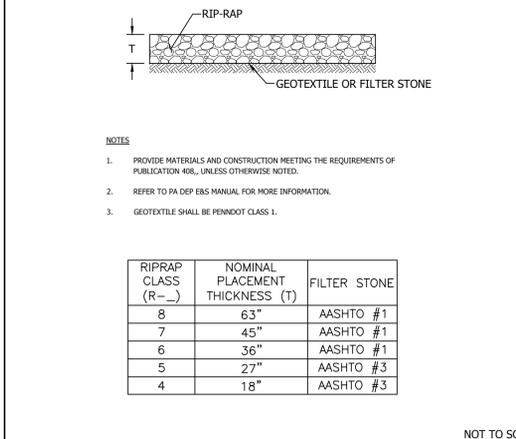
NOT TO SCALE

3 TRENCH DRAIN DETAIL



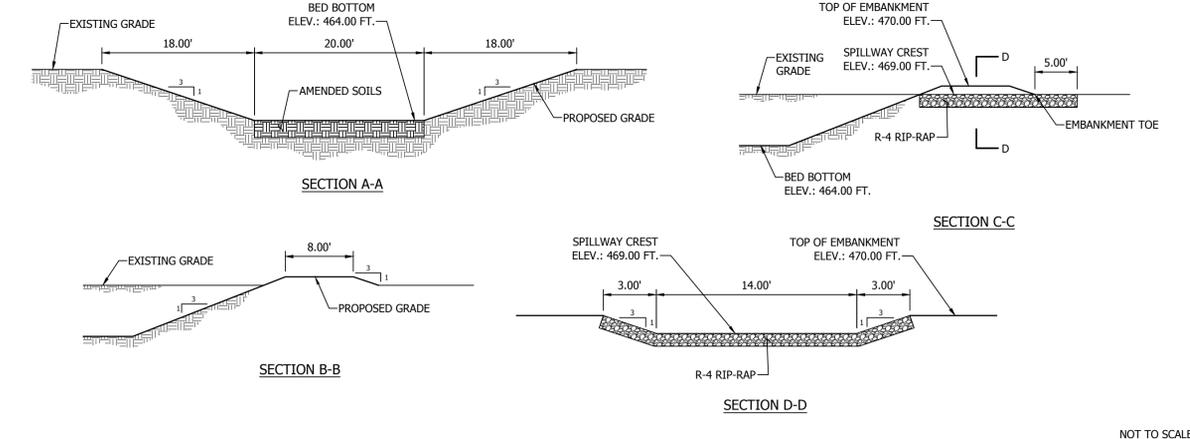
SCALE: 1"=10'-0"

4 STORMWATER MANAGEMENT BASIN



NOT TO SCALE

5 RIP-RAP PLACEMENT DETAIL



NOT TO SCALE

6 STORMWATER MANAGEMENT BASIN CROSS-SECTIONS

STORMWATER MANAGEMENT BASIN NOTES

- STORMWATER MANAGEMENT BASINS, INCLUDING ALL APPURTENANT WORKS, SHALL BE CONSTRUCTED TO THE DETAIL AND DIMENSIONS SHOWN ON THE PLAN DRAWINGS.
- AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO A DEPTH OF TWO FEET PRIOR TO ANY PLACEMENT AND COMPACTION OF EARTHEN FILL.
- ALL EARTH FILL SHALL BE FREE OF WOOD, STUMPS, BRUSH, ROOTS, AND OTHER ORGANIC MATERIAL SUBJECT TO DECOMPOSITION. ALSO, NO FILL SHALL BE PERMITTED THAT CONTAINS ANY STONES LARGER THAN 3 INCHES MEASURED IN ANY DIRECTION.
- FILL MATERIAL SHALL BE PLACED IN MAXIMUM 12-INCH LIFTS AND EACH LIFT SHOULD BE COMPACTED WITH A ROLLER TO AT LEAST 95% OF THE MAXIMUM DENSITY OBTAINED FROM COMPACTION TESTS PERFORMED BY THE APPROPRIATE METHOD IN ASTM D698.
- THE EMBANKMENT SHALL BE CONSTRUCTED OF PERVIOUS MATERIAL CONSISTING OF GW, GP, SW, SP, OR SIMILAR SOILS.
- UPON COMPLETION, THE EMBANKMENT SHALL BE SEEDED AND MULCHED OR OTHERWISE STABILIZED ACCORDING TO THE VEGETATIVE RESTORATION DETAIL.
- TREES SHALL NOT BE PLANTED ON THE EMBANKMENT.

SCOPE: THIS SPECIFICATION DESCRIBES 4- THROUGH 60-INCH (100 TO 1500 MM) ADS N-12 ST 1B PIPE (PER AASHTO) FOR USE IN GRAVITY-FLOW DRAINAGE APPLICATIONS.

PIPE REQUIREMENTS:
ADS N-12 ST 1B PIPE (PER AASHTO) SHALL HAVE A SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS.
• 4- THROUGH 10-INCH (100 TO 250 MM) SHALL MEET AASHTO M252, TYPE S OR SP.
• 12- THROUGH 60-INCH (300 TO 1500 MM) SHALL MEET AASHTO M294, TYPE S OR SP OR ASTM F2306.
• MANNINGS "N" VALUE FOR USE IN DESIGN SHALL BE 0.012.

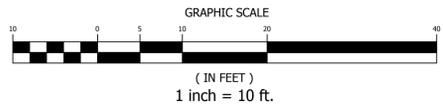
JOINT PERFORMANCE:
PIPE SHALL BE JOINED USING A BELL & SPIGOT JOINT MEETING AASHTO M252, AASHTO M294 OR ASTM F2306. THE JOINT SHALL BE SOIL-TIGHT AND GASKETS, WHEN APPLICABLE, SHALL MEET THE REQUIREMENTS OF ASTM F477. GASKETS SHALL BE INSTALLED BY THE PIPE MANUFACTURER AND COVERED WITH A REMOVABLE WRAP TO ENSURE THE GASKET IS FREE FROM DEBRIS. A JOINT LUBRICANT SUPPLIED BY THE MANUFACTURER SHALL BE USED ON THE GASKET AND BELL DURING ASSEMBLY.

FITTINGS:
FITTINGS SHALL CONFORM TO AASHTO M252, AASHTO M294, OR ASTM F2306. BELL AND SPIGOT CONNECTIONS SHALL UTILIZE A SPUN-ON OR WELDED BELL AND VALLEY OR SADDLE GASKET MEETING THE SOIL-TIGHT JOINT PERFORMANCE REQUIREMENTS OF AASHTO M252, AASHTO M294 OR ASTM F2306.

MATERIAL PROPERTIES:
VIRGIN MATERIAL FOR PIPE AND FITTING PRODUCTION SHALL BE HIGH DENSITY POLYETHYLENE CONFORMING WITH THE MINIMUM REQUIREMENTS OF CELL CLASSIFICATION 424420C FOR 4- THROUGH 10-INCH (100 TO 250 MM) DIAMETERS, OR 435400C FOR 12- THROUGH 60-INCH (300 TO 1500 MM) DIAMETERS, AS DEFINED AND DESCRIBED IN THE LATEST VERSION OF ASTM D3350, EXCEPT THAT CARBON BLACK CONTENT SHOULD NOT EXCEED 4%. THE 12- THROUGH 60-INCH (300 TO 1500 MM) VIRGIN PIPE MATERIAL SHALL COMPLY WITH THE NOTCHED CONSTANT LIQUENT-STRESS (NCLS) TEST AS SPECIFIED IN SECTIONS 9.5 AND 5.1 OF AASHTO M294 AND ASTM F2306, RESPECTIVELY.

INSTALLATION:
INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D2321 AND ADS RECOMMENDED INSTALLATION GUIDELINES, WITH THE EXCEPTION THAT MINIMUM COVER IN TRAFFICKED AREAS FOR 4- THROUGH 48-INCH (100 TO 1200 MM) DIAMETERS SHALL BE ONE FOOT (0.3 M) AND FOR 54- AND 60-INCH (1350 AND 1500 MM) DIAMETERS, THE MINIMUM COVER SHALL BE 2 FT. (0.6 M) IN SINGLE RUN APPLICATIONS. BACKFILL FOR MINIMUM COVER SITUATIONS SHALL CONSIST OF CLASS 1, CLASS 2 (MINIMUM 90% SP) OR CLASS 3 (MINIMUM 90%) MATERIAL. MAXIMUM FILL HEIGHTS DEPEND ON EMBEDEDMENT MATERIAL AND COMPACTION LEVEL. PLEASE REFER TO TECHNICAL NOTE 2.01. CONTACT YOUR LOCAL ADS REPRESENTATIVE OR VISIT OUR WEBSITE AT WWW.ADS-PIPE.COM FOR A COPY OF THE LATEST INSTALLATION GUIDELINES.

7 ADS N-12® ST 1B PIPE (PER AASHTO) SPECIFICATION



Owner / Developer:
AutoZone Development, LLC
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
For Bidding & Contractor Information Contact:
F.W. Dodge Plan Room Tel: (615) 884-1017



PREPARED FOR:
AutoZone
Store No.: 6887
550 ROUTE 6 & 203
TOWNSHIP OF MILFORD, COUNTY OF PIKE
COMMONWEALTH OF PENNSYLVANIA

POST-CONSTRUCTION STORMWATER MANAGEMENT DETAILS

SCALE: AS NOTED

REVISIONS

NO.	DATE	PER	COMMENTS
1.	12-18-25		
2.			
3.			
4.			
5.			
6.			
7.			
8.			

DRAFTSMAN: CWT

CHECKED BY: CAD

DATE: 11-13-2025

PROTOTYPE SIZE: 7x2-L



PCSM3
Sheet 14 of 22

PHASING OF SITE DEVELOPMENT

CONSTRUCTION PHASING / SEQUENCE
THE OVERALL SITE-WORK GENERALLY CONSISTS OF EARTHMOVING ACTIVITIES FOR APPROXIMATELY 2,670 +/- ACRES OF DISTURBED AREA TO PERFORM THE PROPOSED GRADING AND CONSTRUCTION FOR THE PROJECT. IT IS PROPOSED TO APPROXIMATELY PROCEED WITH THE PROJECT IN THE FOLLOWING SEQUENCE:
1. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING...

PA DEP STANDARD E&S PLAN NOTES:

- 1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED) BY THE REVIEWING AGENCY MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL AT ALL TIMES FOR REVIEW AND APPROVAL. ANY DISCREPANCIES SHALL BE CORRECTED IMMEDIATELY.
2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INC. AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
3. AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
4. CLEAR AREA FOR ROCK CONSTRUCTION ENTRANCE AND CONSTRUCT ROCK CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN DRAWINGS.
5. INSTALL COMPOST FILTER SOCK AS SHOWN ON THE PLAN DRAWINGS.
6. BEGIN DEMOLITION OF THE EXISTING STRUCTURES.
7. BEGIN CLEARING AND GRUBBING OPERATIONS.
8. BEGIN CONSTRUCTION OF THE STORMWATER MANAGEMENT BASIN. THIS IS A CRITICAL STAGE ELEMENT. THE LICENSED PROFESSIONAL ENGINEER RESPONSIBLE FOR CERTIFYING COMPLETION OF SITE STORMWATER WORK OR THEIR DESIGNEE MUST BE ON SITE TO OBSERVE AND DOCUMENT THE INSTALLATION OF THIS ELEMENT.
9. BEGIN CONSTRUCTION OF THE STORM SEWER SYSTEM. STORM SEWER SYSTEM SHOULD BE CONSTRUCTED FROM DOWNSTREAM TO UPSTREAM. INSTALL SILT SACK INLET PROTECTION AS SOON AS INLET BODIES ARE SET. PROTECT TRENCH DRAINS AS PER THE PLAN DRAWINGS.
10. BEGIN CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
11. UPON REACHING FINAL GRADE AND AS PRACTICABLE, IMMEDIATELY STABILIZE ALL AREAS ACCORDING TO PLAN. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENT.
12. SILT SACK INLET PROTECTION MAY BE REMOVED WHEN THE TRIBUTARY AREA HAS ACHIEVED PERMANENT STABILIZATION.
13. THE ROCK CONSTRUCTION ENTRANCE MAY BE REMOVED WHEN NEEDED TO CONSTRUCT THE DRIVEWAY ENTRANCE. THIS SHOULD ONLY TAKE PLACE WHEN THE MAJORITY OF EARTH MOVING ACTIVITIES HAVE BEEN COMPLETED.
14. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, CONTACT THE PIKE COUNTY CONSERVATION DISTRICT FOR AN ON-SITE INSPECTION PRIOR TO REMOVAL / CONVERSION OF THE EROSION AND SEDIMENT POLLUTION CONTROL BMPs.
15. REMOVE ANY REMAINING BMPs AND PERMANENTLY STABILIZE THE AREAS WHERE BMPs WERE LOCATED.

GENERAL SEEDING SPECIFICATIONS

THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION RECOMMENDS USING THE PENN STATE 'EROSION CONTROL AND CONSERVATION PLANTINGS ON NONCROPLAND' MANUAL AS A REFERENCE FOR SELECTION OF SPECIES, SEED SPECIFICATIONS, MIXTURES, LIMING AND FERTILIZING, TIME OF SEEDING AND SEEDING METHODS. SPECIFICATIONS FOR THESE ITEMS MAY ALSO BE OBTAINED FROM THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PUBLICATION 408, SECTION 804 OR BY CONTACTING THE APPLICABLE COUNTY CONSERVATION DISTRICT.
VEGETATED AREAS WILL BE CONSIDERED PERMANENTLY STABILIZED WHEN A UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES IS ACHIEVED, OR THE DISTURBED AREA IS COVERED WITH AN ACCEPTABLE BEST MANAGEMENT PRACTICE (BMP) WHICH PERMANENTLY MINIMIZES ACCELERATED EROSION AND SEDIMENTATION. UNTIL SUCH TIME AS THIS STANDARD IS ACHIEVED, INTERIM STABILIZATION MEASURES AND TEMPORARY EROSION AND SEDIMENT CONTROL BMPs THAT ARE USED TO TREAT PROTECT RUNOFF MAY NOT BE REMOVED.

TEMPORARY SEEDING SPECIFICATIONS

Table with columns: SPECIES, PURITY (%), READY GERMINATION (%), TOTAL GERMINATION (%), PURE LIVE SEED/ SEEDING RATE (LBS/ACRE). Rows include Spring-Gaats, Annual Ryegrass, Summer-Fall Annual Ryegrass, Winter Rye, and Winter Wheat.

1- PURE LIVE SEED (PLS) IS THE PRODUCT OF THE PERCENTAGE OF PURE SEED TIMES PERCENTAGE GERMINATION DIVIDED BY 100. FOR EXAMPLE, TO SECURE THE ACTUAL PLANTING RATE FOR ANNUAL RYEGRASS, DIVIDE THE PLS SEEDING RATE OF 10 LBS/ACRE BY THE PLS AS SHOWN ON THE SEED TAG. THIS, IF THE PLS CONTENT OF A GIVEN SEEDLOT IS 60%, DIVIDE 10 PLS (LBS/ACRE) BY 0.60 TO OBTAIN 16.7 LBS OF SEED REQUIRED TO PLANT ONE ACRE. ALL MIXTURES IN THIS TABLE ARE SHOWN IN TERMS OF PLS, LBS/ACRE.
MULCH: ALL SEEDED AREAS MUST BE IMMEDIATELY MULCHED TO PROMOTE ADEQUATE VEGETATIVE COVER. USE CLEAN CUT OR WHEAT STRAW, FREE OF WEEDS, NOT CHOPPED OR FINELY BROKEN. THE STRAW MUST BE FREE FROM MATURE SEED-BEARING STALKS OR ROOTS OF PROHIBITED OR NOXIOUS WEEDS AS DEFINED BY THE PENNSYLVANIA SEED ACT OF 1947.

PERMANENT SEEDING SPECIFICATIONS

Table with columns: SPECIES, PURITY (%), READY GERMINATION (%), TOTAL GERMINATION (%), PURE LIVE SEED/ SEEDING RATE (LBS/ACRE). Rows include Spring-Summer Redtop, Tall Ryegrass, Annual Ryegrass, Summer-Fall Redtop, and Winter Rye.

PRELIMINARY PREPARATION: GRADE AS NECESSARY TO BRING SUBGRADE TO A TRUE, SMOOTH SOLE PARALLEL TO AND SIX INCHES BELOW FINISH GRADE (I.E., 8 INCHES FOR BASIN EMBANKMENTS WHEN APPLICABLE). PLACE TOPSOIL OVER SPECIFIED AREAS. TOPSOIL SHOULD BE AT A GREATER THICKNESS (I.E., GENERALLY 6 TO 8 INCHES) THAN THE FINISHED GRADE. ALLOW FOR SETTLEMENT AND LIGHT ROLLING. THE FINAL COVER MUST CONFORM TO THE PROPOSED LINES, GRADES AND ELEVATIONS.
LIME AND FERTILIZER: APPLY AGRICULTURAL GRADE LIMESTONE AND FERTILIZER AS PER THE RECOMMENDATIONS INDICATED BY THE SOIL TEST. IN THE ABSENCE OF A SOIL TEST, APPLY AGRICULTURAL GRADE LIMESTONE AT A RATE OF 6 TONS PER ACRE, AND APPLY 1,000 POUNDS OF 10-20-20 FERTILIZER (E.G., 200 POUNDS NITROGEN (N), 400 POUNDS PHOSPHORUS (P2O5), AND 400 POUNDS POTASSIUM (K2O) PER ACRE.) WORK LINE AND FERTILIZER INTO SOIL WHERE POSSIBLE. LIME AND FERTILIZER DATA WAS OBTAINED FROM THE PADEP EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE (BMP) MANUAL, TABLE 11.1. NOTE: A COMPOST BLANKET WHICH MEETS THE STANDARDS OF CHAPTER 11.0 OF PADEP PROPOSED AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL MARCH 2012 (BMP MANUAL) MAY BE SUBSTITUTED FOR THE SOIL AMENDMENTS SHOWN IN TABLE 11.1.

THE FERTILIZER AND LIMESTONE MUST BE THOROUGHLY INCORPORATED INTO THE SOIL BY MECHANICAL MEANS (E.G., ROTOTILLAGE) TO A MINIMUM DEPTH OF 4 INCHES.
THE ENTIRE SURFACE MUST THEN BE REGRADDED AND ROLLED. ALL AREAS THAT WILL BE SEEDDED MUST BE LOOSENEED USING MECHANICAL MEANS. SOIL MUST BE LOOSENEED TO A DEPTH OF AT LEAST TWO INCHES.
SEED: SEEDING MUST BE CONDUCTED AS TWO SEPARATE OPERATIONS. THE FIRST SEEDING OPERATION MUST BE COMPLETED PRIOR TO STARTING THE SECOND SEEDING OPERATION. THE SECOND SEEDING MUST BE CONDUCTED IMMEDIATELY AFTER THE FIRST SEEDING AND AT RIGHT ANGLES TO THE FIRST SEEDING. THE SEEDS MUST BE LIGHTLY RAKED INTO THE SOIL.
ALL SEED MUST BE A GUARANTEED STATEMENT OF ANALYSIS AND MUST BE 100% PROPORATION BY WEIGHT WITH THE MINIMUM PURITY, READY GERMINATION, AND TOTAL GERMINATION OUTLINED BELOW. SEED DATA WAS OBTAINED FROM THE PADEP EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE (BMP) MANUAL, TABLES 11.3 AND 11.4.

STEEP SLOPE SEEDING SPECIFICATIONS

Table with columns: SPECIES, PURITY (%), READY GERMINATION (%), TOTAL GERMINATION (%), PURE LIVE SEED/ SEEDING RATE (LBS/ACRE). Rows include Annual Ryegrass and Birdspoot Trefolium.

1- PURE LIVE SEED (PLS) IS THE PRODUCT OF THE PERCENTAGE OF PURE SEED TIMES PERCENTAGE GERMINATION DIVIDED BY 100. FOR EXAMPLE, TO SECURE THE ACTUAL PLANTING RATE FOR ANNUAL RYEGRASS, DIVIDE THE PLS SEEDING RATE OF 10 LBS/ACRE BY THE PLS AS SHOWN ON THE SEED TAG. THIS, IF THE PLS CONTENT OF A GIVEN SEEDLOT IS 60%, DIVIDE 10 PLS (LBS/ACRE) BY 0.60 TO OBTAIN 16.7 LBS OF SEED REQUIRED TO PLANT ONE ACRE. ALL MIXTURES IN THIS TABLE ARE SHOWN IN TERMS OF PLS, LBS/ACRE.
WHEN CONDITIONS PERMIT, THE FOLLOWING SEEDING MIXTURE CAN BE UTILIZED ON STEEP SLOPES. SEED DATA WAS OBTAINED FROM THE PADEP EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE (BMP) MANUAL, TABLES 11.4 AND 11.5.

MAINTENANCE PROGRAM

MAINTENANCE OF PERMANENT CONTROLS:
THE OWNER OR DESIGNEE WILL MAINTAIN PERMANENT CONTROL FACILITIES.
CLEANING FREQUENCY AND ULTIMATE DISPOSAL OF WASTE:
CLEANING FREQUENCIES SHOULD OCCUR CONCURRENT WITH SEMI-ANNUAL INSPECTIONS OR DURING VISUAL INSPECTIONS FOLLOWING RUNOFF EVENTS IF PROBLEMS ARE OBSERVED.
SILT AND SEDIMENT REMOVED FROM ALL CONTROL MEASURES SHOULD BE MIXED WITH SOIL DURING EARTHWORK AND PROPERLY DISPOSED OF ON-SITE WITH PROPERLY ENGINEERED AND PERMITTED METHODS.
WASTE AREA: THE OFF-SITE WASTE AREA MUST HAVE A FULLY IMPLEMENTED E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
TRASH AND DEBRIS IS TO BE TAKEN TO A PROPERLY LICENSED LANDFILL FOR LAWFUL DISPOSAL.

POST CONSTRUCTION STORMWATER MANAGEMENT OPERATION & MAINTENANCE SCHEDULE

Table with columns: CONTROL MEASURE, PROBLEMS, POSSIBLE REMEDIES (TO BE PERFORMED WITHIN 24 HOURS OR AS SOON AS SAFELY PRACTICAL.). Rows include Storm Sewer Pipes and Inlets, Stormwater Management Basin, Erosion Control Blankets (EC&B or TRM), and Secour Beneath.

GENERAL NOTES - NPDES PERMIT REQUIREMENTS

IN ADDITION TO THE PERMIT APPLICANT, ANYONE PERFORMING ACTIVITIES RESULTING IN ANY EARTH DISTURBANCE IS REQUIRED TO BE ADDED TO THE NPDES PERMIT AS A CO-PERMITTEE.
IMPORTANT - POST CONSTRUCTION STORMWATER MANAGEMENT (PCSM) INSTRUMENT FILING NOTICE: THE PERMITTEE OR CO-PERMITTEE SHALL RECORD, WITH THE RECORDER OF DEEDS OFFICE, THE INSTRUMENT WITHIN 45 DAYS FROM THE DATE OF THE NPDES PERMIT ISSUANCE OR AUTHORIZATION, AND SHALL PROVIDE THE CONSERVATION DISTRICT AND THE PADEP WRITTEN DOCUMENTATION CONTAINING THE DATE AND PLACE OF RECORDING ALONG WITH A REFERENCE TO THE DOCKET, DEED BOOK OR OTHER RECORD, WITHIN 90 DAYS FROM THE DATE OF THE NPDES PERMIT ISSUANCE OR AUTHORIZATION.
ANY PROJECT WHICH RESULTS IN EARTH DISTURBANCE ACTIVITIES THAT DISTURB EQUAL TO OR GREATER THAN ONE (1) ACRE IS SUBJECT TO PADEP APPROVAL OF COVERAGE UNDER THE GENERAL OR INDIVIDUAL NPDES PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
ANY AND ALL CONSTRUCTION ENGAGED IN EARTH DISTURBANCE ACTIVITIES, INCLUDING DEMOLITION, UTILITY LINE CONSTRUCTION, GRADING ACTIVITIES, INSTALLATION OF STORMWATER MANAGEMENT SYSTEMS, ETC., SHALL SECURE A COPY OF THE NPDES PERMIT FOR THIS PROJECT, AND FAMILIARIZE THEMSELVES WITH THE PERMIT REQUIREMENTS.
UPON AWARD OF CONTRACT FOR ANY EARTH DISTURBANCE ACTIVITIES NOTED ABOVE, THAT CONTRACTOR SHALL BE DESIGNATED AS A CO-PERMITTEE, IN ACCORDANCE WITH THE REQUIREMENTS OF PADEP, AND SHALL COMPLETE AND SUBMIT ALL APPROPRIATE FORMS AND NOTIFICATIONS, ALONG WITH THE OWNER, PRIOR TO ANY SITE MOBILIZATION.
THE GENERAL CONTRACTOR (OR IF NO GENERAL CONTRACTOR IS ASSIGNED, THE PRIME CONTRACTOR RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES, AS DESIGNATED BY THE OWNER AND/OR ARCHITECT), AS CO-PERMITTEE, IS RESPONSIBLE FOR RECORD KEEPING AND THE RETENTION OF RECORDS OF ALL MONITORING INFORMATION, AS MAY BE REQUIRED TO COMPLETE THE NOTICE OF TERMINATION (NOT), AS REQUIRED BY THE CONDITIONS OF THE NPDES PERMIT.
THE GENERAL CONTRACTOR (OR IF NO GENERAL CONTRACTOR IS ASSIGNED, THE PRIME CONTRACTOR RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES, AS DESIGNATED BY THE OWNER AND/OR ARCHITECT), AS CO-PERMITTEE, IS RESPONSIBLE FOR ENSURING THAT A LICENSED PROFESSIONAL HAVE OVERSIGHT CONTRACTING THE AUTHORIZED CONSERVATION DISTRICT AT LEAST SEVEN (7) DAYS BEFORE CONSTRUCTION IS TO BEGIN, TO SCHEDULE A PRECONSTRUCTION CONFERENCE, AS REQUIRED BY THE CONDITIONS OF THE NPDES PERMIT.
THE GENERAL CONTRACTOR (OR IF NO GENERAL CONTRACTOR IS ASSIGNED, THE PRIME CONTRACTOR RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES, AS DESIGNATED BY THE OWNER AND/OR ARCHITECT), AS CO-PERMITTEE, IS RESPONSIBLE FOR ENSURING THAT A LICENSED PROFESSIONAL HAVE OVERSIGHT CONTRACTING THE AUTHORIZED CONSERVATION DISTRICT AT LEAST SEVEN (7) DAYS BEFORE CONSTRUCTION IS TO BEGIN, TO SCHEDULE A PRECONSTRUCTION CONFERENCE, AS REQUIRED BY THE CONDITIONS OF THE NPDES PERMIT.
THE GENERAL CONTRACTOR (OR IF NO GENERAL CONTRACTOR IS ASSIGNED, THE PRIME CONTRACTOR RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES, AS DESIGNATED BY THE OWNER AND/OR ARCHITECT), AS CO-PERMITTEE, IS RESPONSIBLE FOR ENSURING THAT A LICENSED PROFESSIONAL HAVE OVERSIGHT CONTRACTING THE AUTHORIZED CONSERVATION DISTRICT AT LEAST SEVEN (7) DAYS BEFORE CONSTRUCTION IS TO BEGIN, TO SCHEDULE A PRECONSTRUCTION CONFERENCE, AS REQUIRED BY THE CONDITIONS OF THE NPDES PERMIT.
THE GENERAL CONTRACTOR (OR IF NO GENERAL CONTRACTOR IS ASSIGNED, THE PRIME CONTRACTOR RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES, AS DESIGNATED BY THE OWNER AND/OR ARCHITECT), AS CO-PERMITTEE, IS RESPONSIBLE FOR ENSURING THAT A LICENSED PROFESSIONAL HAVE OVERSIGHT CONTRACTING THE AUTHORIZED CONSERVATION DISTRICT AT LEAST SEVEN (7) DAYS BEFORE CONSTRUCTION IS TO BEGIN, TO SCHEDULE A PRECONSTRUCTION CONFERENCE, AS REQUIRED BY THE CONDITIONS OF THE NPDES PERMIT.

FURTHER NOTES

- 1. THE PURPOSE OF THIS EROSION AND SEDIMENTATION CONTROL PLAN IS TO MINIMIZE EXTENT AND DURATION OF EARTH DISTURBANCE, MAXIMIZE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION, AND MINIMIZE SOIL COMPACTION
IMPORTANT: STORMWATER RUNOFF IS NOT TO BE DIRECTED TO UNPROTECTED STORMWATER MANAGEMENT SYSTEM, STORMWATER CONVEYANCE SYSTEMS, OR INFILTRATION BED AREAS UNTIL THE SITE IS IN FINAL GRADE AND STABILIZED.
3. ALL PARTIES RESPONSIBLE FOR THE EXCAVATION OF SITE MATERIALS OR THE IMPORT OF FILL MATERIALS ARE RESPONSIBLE TO ENSURE THAT "ENVIRONMENTAL DUE DILIGENCE" IN THE DETERMINATION OF CLEAN FILL MATERIAL IS EITHER REMOVED FROM THE SITE OR USED AS FILL FOR THE SITE. ANY MATERIAL IDENTIFIED AS HAZARDOUS MUST BE DISPOSED IN ACCORDANCE WITH ALL APPLICABLE STATE AND FEDERAL GUIDELINES AND REGULATIONS.
A) ENVIRONMENTAL DUE DILIGENCE - INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF OWNERSHIP AND USE HISTORY OF PROPERTY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSECTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.
4. NO BUILDING MATERIALS, WASTES, OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCARDED ON THE SITE. THE FOLLOWING DEFINE WHAT SHOULD BE CONSIDERED "CONSTRUCTION WASTES" AND "CLEAN FILL":
A) CONSTRUCTION WASTES - INCLUDES BUT IS NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY.
B) CLEAN FILL - UNCONTAMINATED, NON-WATER-SOLUBLE, NON-DECOMPOSTABLE, INERT SOLID MATERIAL. THIS INCLUDES SOIL, ROCK, STONE DREGGED MATERIAL, SEED ASPHALT, AND BRICK, BLOCK, OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. IT DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE SURFACE WATERS UNLESS OTHERWISE AUTHORIZED, MILLED ASPHALT, OR ASPHALT THAT HAS BEEN PROPOSED FOR RE-USE.
5. DURING UTILITY LINE CONSTRUCTION, EXCAVATE UTILITY LINE TRENCHES ONLY AS REQUIRED. LIMIT ADVANCE EXCAVATION TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUS INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY. IF REQUIRED, TRENCH PLUGS, AS SHOWN PER DETAIL, ARE TO BE INSTALLED PER PA DEP CHAPTER 102 REQUIREMENTS. WATER, WHICH ACCUMULATES IN THE OPEN TRENCH, WILL BE COMPLETELY REMOVED BY PLACING WATER INTO A FILTER BAG IN ACCORDANCE WITH PA DEP CHAPTER 102 REQUIREMENTS. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL GRADE, AND SEEDED AND MULCHED PER THE PERMANENT SEEDING SCHEDULE.
6. COMPOST FILTER SOCKS (FILTRExx SILT/SOIL™), SEDIMENTATION TRAPP™, INLET/EXIT™, RUNOFF DIVERSION SOCK™) AND ANY OTHER FILTRExx BMPs EMPLOYED AS PART OF THE EROSION AND SEDIMENTATION CONTROL PLAN FOR THE PROJECT MUST FOLLOW THE MANUFACTURER'S DISPOSAL/RECYCLING INSTRUCTIONS FOR EACH SPECIFIC BMP UTILIZED THROUGHOUT THE PROJECT'S CONSTRUCTION AND EARTHMOVING OPERATIONS.
7. DURING FOUNDATION CONSTRUCTION, PUMP WATER ACCUMULATED IN OPEN TRENCHES INTO FILTER BAGS IN ACCORDANCE WITH PADEP CHAPTER 102 REQUIREMENTS. REFER TO DETAIL. WHEN FILTER BAG IS FULL IT SHOULD BE REPLACED. ANY ACCUMULATED SEDIMENTATION WILL BE MIXED WITH SOIL AND PROPERLY DISPOSED OF ON THE SITE IF POSSIBLE OR DISPOSED OF AT AN OFFSITE AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL EXCESS MATERIAL OFF-SITE TO AN APPROVED FACILITY.
8. EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE WITHIN THE CONTRIBUTORY DRAINAGE AREAS OF THOSE CONTROLS.
9. AFTER FINAL SITE STABILIZATION IS ACHIEVED, TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE CONTROLS MUST BE IMMEDIATELY STABILIZED. FINAL STABILIZATION IS DEFINED AS THE ACHIEVEMENT OF A MINIMUM UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES HAS BEEN ACHIEVED ON ALL CONTRIBUTORY DRAINAGE AREAS.
10. SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH RUNOFF EVENT.
11. ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED AND WHICH WILL REMAIN EXPOSED FOR MORE THAN 4 DAYS MUST BE TEMPORARILY STABILIZED. DISTURBED AREAS THAT ARE EITHER AT FINISHED GRADE, OR ANY GRADED AREA OF 15,000 FT² OR MORE REACHES FINAL GRADE, OR WILL NOT BE DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT SEEDING SPECIFICATIONS.

PCSM OPERATION AND MAINTENANCE

VEGETATION:
INSPECT VEGETATED AREAS FOR SEDIMENT, RILLS & GULLIES AS WELL AS BARE SOIL PATCHES. FILL RILLS AND GULLIED SLOPES, RESEED, FERTILIZE AND MULCH DISTURBED AREAS. REPLACE DEAD/DYING LANDSCAPE WITH NEW PLANTINGS. REPLACE ERODED MATERIAL AND REVEGETATE ERODED AREAS. SEED AN/OR MULCH DISTURBED AREAS.
STORM SEWERS, GUTTERS, SWALES AND OTHER CONVEYANCE DEVICES:
REPAIR/REPLACE FACILITIES TO MAINTAIN INTENDED FUNCTION.
REMOVE SILT/TRASH/DEBRIS FROM INLETS, STORM SEWERS, OUTLET CONTROL STRUCTURE AND ALL OTHER CONVEYANCE, CATCHMENT AND TRANSITION STRUCTURES.
DISPOSE SILT, DEBRIS AND TRASH IN A MANNER THAT WILL NOT ADVERSELY AFFECT THE ENVIRONMENT.

BMP - SPECIFIC OPERATION AND MAINTENANCE PROCEDURES

Table with columns: BEST MANAGEMENT PRACTICE (BMP), STAGE, ACTIVITY. Rows include Stormwater Management Basin and Stormwater Management Basins.

STORMWATER MANAGEMENT BASIN OPERATION AND MAINTENANCE

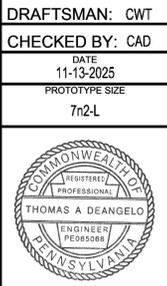
CATCH BASINS AND INLETS (UPGRADE OF STORMWATER BASIN) SHOULD BE INSPECTED AND CLEANED AT LEAST TWO TIMES PER YEAR AND AFTER RUNOFF EVENTS.
THE VEGETATION ALONG THE SURFACE OF THE STORMWATER BASIN SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGETATED AS SOON AS POSSIBLE.
VEHICLES SHOULD NOT BE PARKED OR DRIVEN ON A STORMWATER MANAGEMENT BASIN. CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS.
INSPECT THE BASIN AFTER RUNOFF EVENTS AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN 72 HOURS.
INSPECT FOR THE ACCUMULATION OF SEDIMENT, DAMAGE TO OUTLET STRUCTURES, EROSION CONTROL MEASURES, SIGNS OF WATER CONTAMINATION / SPILLS, AND SLOPE STABILITY IN THE BERMS.
MOW ONLY AS APPROPRIATE FOR VEGETATIVE COVER SPECIES.
REMOVE ACCUMULATED SEDIMENT FROM THE BASIN AS REQUIRED. RESTORE ORIGINAL CROSS SECTION AND INFILTRATION RATE. PROPERLY DISPOSE OF SEDIMENT.

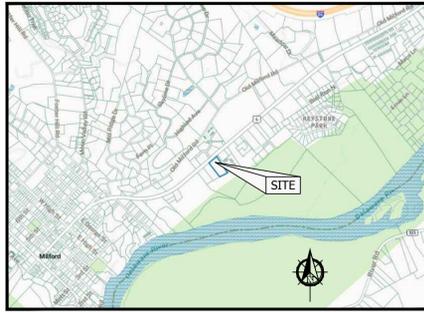
AutoZone Development, LLC
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AutoZone
Store No.: 6887
550 ROUTE 6 & 209
TOWNSHIP OF MILFORD, COUNTY OF PIKE
COMMONWEALTH OF PENNSYLVANIA
POST-CONSTRUCTION STORMWATER MANAGEMENT NOTES

Table with columns: SCALE: AS NOTED, REVISIONS (1. 12-18-25 PER COMMENTS, 2., 3., 4., 5., 6., 7., 8.), DRAFTSMAN: CWT, CHECKED BY: CAD, DATE: 11-13-2025, PROTOTYPE SIZE: 7x2-L.

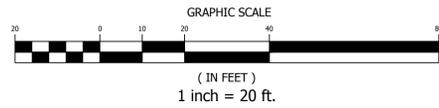




SITE LOCATION MAP
SCALE: 1" = 1,500'

Dig Serial No.: 20232001230
Design Serial No.: 20232001305

CALL BEFORE YOU DIG!
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3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE - STOP CALL
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UTILITY SERVICE INFORMATION

GAS SERVICE
UGI UTILITIES, INC.
P.O. BOX 13009
READING, PA 19612
(570) 407-8858
MS. MICHELLE BENSON
mbenson@ugi.com

ELECTRIC SERVICE
PIKE COUNTY LIGHT AND POWER
COMPANY
150 SCHNEIDER LANE
MILFORD, PA 18337
855-855-2050, EXT. 355
NICOLE HERMAN
nherman@PCLPEG.com

SANITARY SEWER
ON-LOT SEPTIC SYSTEM
MILFORD TOWNSHIP
560 ROUTE 6 & 209
MILFORD, PA 18337
(570) 618-9133
MR. ROBERT DI LORENZO, SEO

TELEPHONE SERVICE
VERIZON NORTH
31 SOUTH BEAVER STREET
YORK, PA 17401
(570) 348-5912
MR. TOM HARTMAN
thartman@verizon.com

WATER SERVICE
MILFORD BOROUGH MUNICIPAL
AUTHORITY
151 OLD OWEGO TURNPIKE
MILFORD, PA 18337
(750) 296-6556
MR. NICK MAY
nmay@milfordpawater.com

DEMOLITION KEYNOTES

- 1 CLEAR AND GRUB SITE, AS REQUIRED, FOR NEW SITE IMPROVEMENTS. SEE EBS PLAN FOR LIMITS OF DISTURBANCE.
- 2 REMOVE EXISTING DWELLING, INCLUDING CONCRETE PORCH, BASEMENT, FOUNDATION, ETC., AND PREP FOR NEW GRADING/PAVEMENT.
- 3 REMOVE EXISTING CONCRETE SIDEWALK OR PAD.
- 4 REMOVE EXISTING ASPHALT DRIVEWAY, AND PREP FOR NEW BUILDING, GRADING OR PAVEMENT.
- 5 REMOVE EXISTING GRAVEL AND DISPOSE OF PER STATE, COUNTY OR LOCAL REQUIREMENTS.
- 6 EXISTING WOOD FENCE TO REMAIN. PROTECT DURING CONSTRUCTION.
- 7 REMOVE EXISTING TREE, INCLUDING ROOT SYSTEM.
- 8 REMOVE EXISTING LIGHT, INCLUDING WIRE AND CONDUIT AND BASE.
- 9 REMOVE EXISTING UTILITY POLE, GUY WIRE AND OVERHEAD SERVICE LINES, PER UTILITY COMPANY REQUIREMENTS.
- 10 REMOVE EXISTING WATER MANHOLE AND WATER LATERAL TO DWELLING.
- 11 EXISTING UTILITY POLE TO REMAIN. PROTECT DURING CONSTRUCTION.
- 12 EXISTING GAS MAIN TO REMAIN. PROTECT DURING CONSTRUCTION.
- 13 EXISTING CONCRETE SIDEWALK TO REMAIN. PROTECT DURING CONSTRUCTION.
- 14 REMOVE EXISTING GAS LATERAL AND METER, AND PREP REMAINING LATERAL FOR NEW GAS SERVICE. SEE SITE UTILITY PLAN.
- 15 EXISTING TREE TO REMAIN. PROTECT DURING CONSTRUCTION.
- 16 REMOVE EXISTING SANITARY LINE FROM BUILDING TO FIRST CLEANOUT. PLUG AND CAP.
- 17 CONFIRM SIZE, LOCATION, DEPTH, ETC. OF EXISTING WATER LINE, AND PREP FOR NEW WATER SERVICE. SEE SITE UTILITY PLAN.
- 18 LIMITS OF PAVEMENT REMOVAL.
- 19 EXISTING SHIPPING CONTAINERS TO BE REMOVED BY PROPERTY OWNER.
- 20 ADD ALTERNATE NO. 1: CONTRACTOR TO SECURE APPROVAL FROM DOLLAR GENERAL PROPERTY OWNER, AND REMOVE EXISTING SIDEWALK, INSTALL TOPSOIL, GRASS SEED AND FERTILIZER. CONFIRM WITH AUTOZONE CONSTRUCTION MANAGER.

TREE REMOVAL LIMITATION

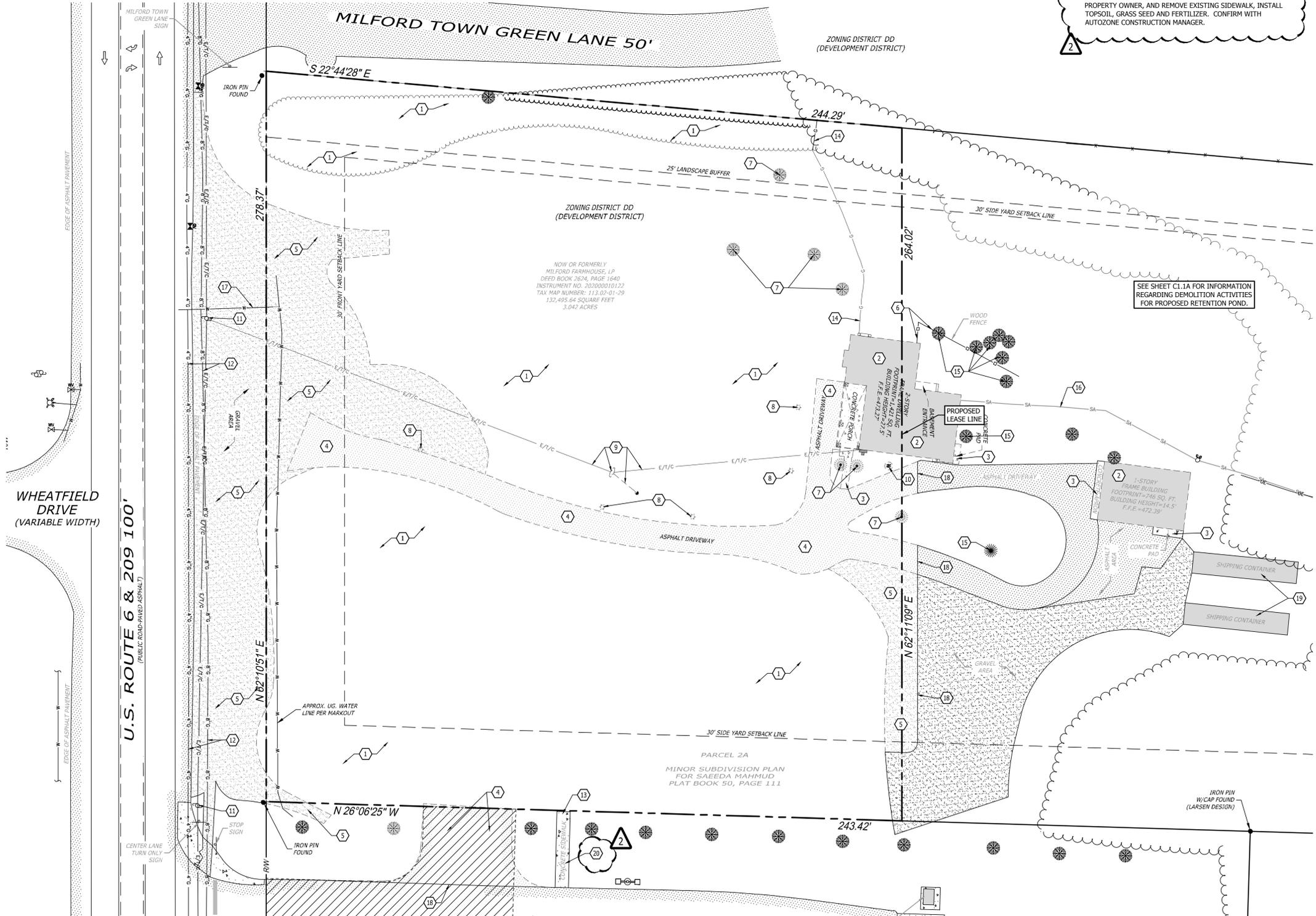
THE PROPOSED PROJECT IS LOCATED WITHIN THE HABITAT OF THE NORTHERN LONG-EARED BAT AND THE INDIANA BAT. TO ENSURE A TAKING IS NOT REASONABLY CERTAIN TO OCCUR, DO NOT CONDUCT TREE REMOVAL ACTIVITIES FROM APRIL 1 TO SEPTEMBER 30. THE U.S. FISH AND WILDLIFE SERVICE HAS DETERMINED THAT A TAKING IS NOT REASONABLY CERTAIN TO OCCUR FROM TREE REMOVAL ACTIVITIES, IF THOSE ACTIVITIES OCCUR OUTSIDE THE NORTHERN LONG-EARED BAT SUMMER OCCUPANCY SEASON (APRIL 1 TO SEPTEMBER 30) AND THE INDIANA BAT PUP SEASON (MAY 15 TO JULY 31). MORE INFORMATION CAN BE FOUND AT fws.gov.

DEMOLITION NOTES

1. CONTRACTOR TO REVIEW PHASE II REPORT FOR SITE AND TO BE FAMILIAR WITH ANY AND ALL MATERIALS THAT MAY BE ENCOUNTERED OR OUTLINED IN PHASE II REPORT.
2. ALL WORK TO BE ACCOMPLISHED IN STRICT ACCORDANCE WITH ALL LOCAL ORDINANCES, CITY OR STATE.
3. WITHIN THE SUBJECT PROPERTY, THE INTENT IS TO HAVE A CLEAN, CLEAR SITE, FREE OF ALL EXISTING ITEMS NOTED TO BE REMOVED IN ORDER TO PERMIT THE CONSTRUCTION OF THE NEW PROJECT.
4. ALL ITEMS NOTED TO BE REMOVED BY THE SELLER SHALL BE ACCOMPLISHED PRIOR TO THE CLOSING OF THE REAL ESTATE TRANSACTION. ALL OTHER ITEMS NOTED TO BE REMOVED SHALL BE DONE SO AS PART OF THE CONTRACT FOR GENERAL CONSTRUCTION.
5. REMOVE ALL UTILITIES TO EXISTING STRUCTURES WHETHER SHOWN OR NOT. CUT AND CAP ALL UNDERGROUND LINES AT THE PROPERTY LINE UNLESS OTHERWISE NOTED.
6. FOR ALL ITEMS NOTED TO BE REMOVED - REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALL UNDERGROUND ELEMENTS AS WELL, INCLUDING BUT NOT NECESSARILY LIMITED TO: FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, OLD PIPE, ETC.
7. BACKFILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK TO MEET THE REQUIREMENTS FOR FILL OUTLINED IN THE SOILS REPORT.
8. GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY, PRIOR TO THE FINAL CONTRACT EXECUTION, IF ANY BUILDING STRUCTURE THAT IS NOTED TO BE REMOVED HAS A BASEMENT. IF SO THE BUILDING STRUCTURE, BOTH FLOOR STRUCTURES, BASEMENT, FOUNDATION, ETC. ARE TO BE REMOVED AND BACKFILLED TO EXISTING GRADE ELEVATIONS SURROUNDING THE EXISTING STRUCTURE.
9. DEMOLITION SHOULD NOT BEGIN UNTIL EBS CONTROLS HAVE BEEN COMPLETED.
10. CONTRACTOR SHALL INSTALL 6' HIGH TEMPORARY CHAIN LINK FENCE AROUND PROPOSED WORK AREA, COMPLETE WITH VEHICLE GATE, MAN GATE, AND APPROPRIATE SIGNAGE AS REQUIRED BY LOCAL MUNICIPALITY. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF THE TEMPORARY CONSTRUCTION FENCE IN THE FIELD WITH THE OWNER, THE LOCAL MUNICIPALITY AND COUNTY, AND AUTOZONE CONSTRUCTION MANAGER.

LEGEND

Gas Line	— G — G —	Iron pin w/cap set (Unless otherwise noted)	— I —
Overhead Electric, Telephone & Cable Line	— E/T/C —	Iron Pin Found	— IP —
Overhead Wires	— OH —	Gas Valve	— G —
Storm Sewer	— SS —	Water Valve	— W —
Sanitary Sewer	— SS —	Fire Hydrant	— F —
Easements	— E —	Utility Pole	— U —
Setback Line	— S —	Guy Wire	— G —
Former Property Line	— Z —	Light Pole	— L —
Depressed Curb	— D —	Benchmark	— B —
Wooden/Vinyl Fence	— W —	Right-of-Way	— R/W —
Tree Line	— T —	Corrugated Plastic Pipe	— CPP —
Street Light	— S —	Reinforced Concrete Pipe	— RCP —
Sanitary Manhole	— SM —	Asphalt	— A —
Storm Manhole	— SM —	Gravel	— G —
Storm Inlet	— SI —		
Sign	— S —		
Illuminated Signs	— IS —		
Traffic Flow Arrow	— T —		
Benchmark	— B —		



Owner / Developer:
AutoZone Development, LLC
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
For Bidding & Contractor Information Contact:
F. W. Dodge Plan Room Tel: (615) 884-1017



PREPARED FOR:
AutoZone
Store No.: 6887
550 ROUTE 6 & 209
TOWNSHIP OF MILFORD, COUNTY OF PIKE
COMMONWEALTH OF PENNSYLVANIA

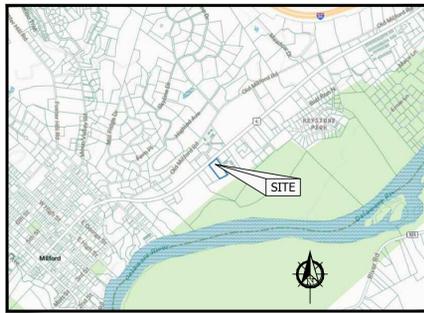
SCALE: 1" = 20'-0"

NO.	DATE	PER	COMMENTS
1.	12-18-25	PER	COMMENTS
2.	2-16-26	ADD	ALTERNATE
3.			
4.			
5.			
6.			
7.			
8.			

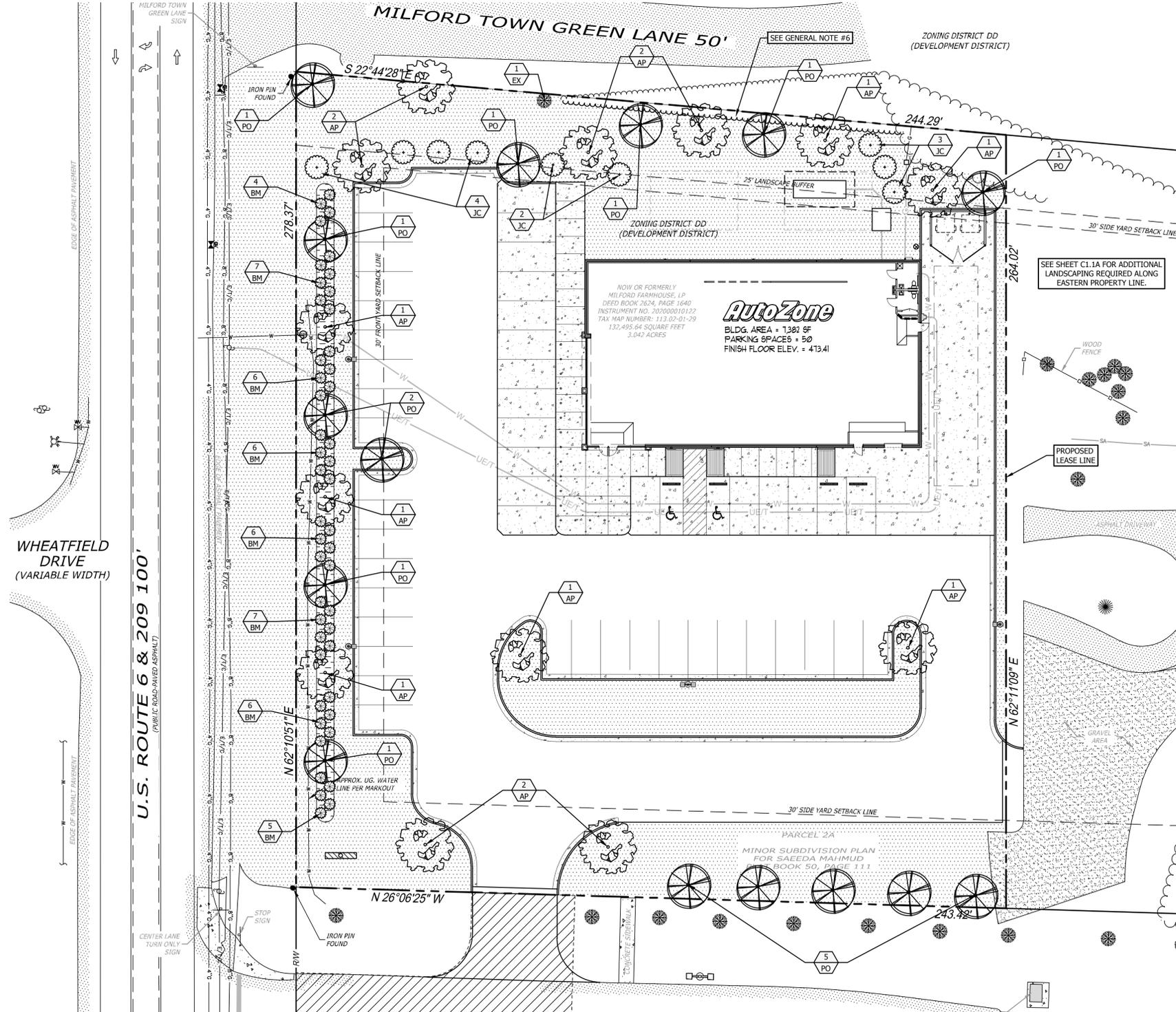
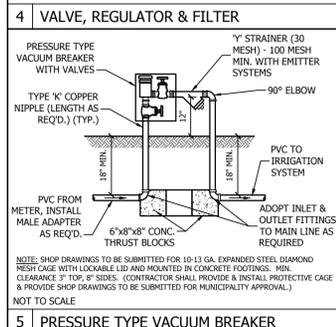
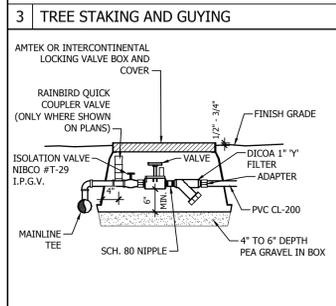
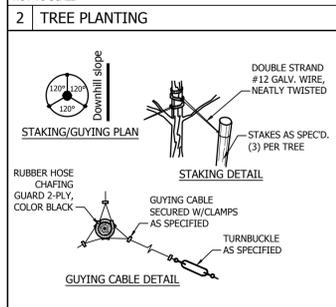
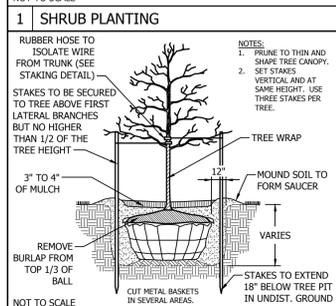
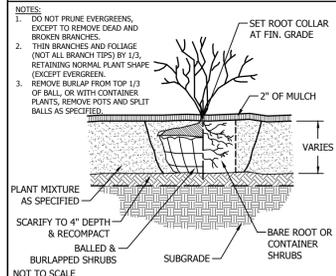
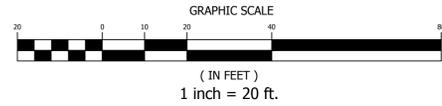
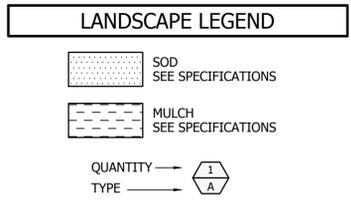
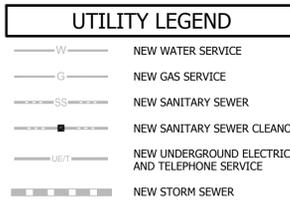
DRAFTSMAN: CWT
CHECKED BY: CAD
DATE: 11-13-2025
PROTOTYPE SIZE: 7x2-L



D1.0
Sheet 16 of 22



SITE LOCATION MAP
SCALE: 1" = 1,500'



SYMBOL	QTY.	KEY	BOTANICAL/Common NAME	MATURE SIZE	MINIMUM SIZE AT PLANTING	ROOT TYPE	REMARKS
(Symbol)	13	AP	ACER PALMATUM	30' HEIGHT, 20' WIDTH	12' HEIGHT & 3" CAL.	B & B	DECIDUOUS SHADE TREE
(Symbol)	9	JC	SKYLINE HONEYLOCUST	12' HEIGHT, 8' WIDTH	8' HEIGHT & 1.5" CAL.	B & B	EVERGREEN TREE
(Symbol)	47	BM	JUNIPERUS CHINENSIS	2' - 5' HGT. 2' - 4' WIDE	2' HEIGHT	#5 CONT.	SCREEN SHRUB
(Symbol)	15	PO	BLUE POINT JUNIPER	30' HEIGHT, 15' WIDTH	12' HEIGHT & 3" CAL.	B & B	DECIDUOUS SHADE TREE
(Symbol)	1	EX	BUXUS MICROPHYLLA VAR. JAPONICA	-	-	-	-
(Symbol)			WINTER GEM BOXWOOD	-	-	-	-
(Symbol)			QUERCUS PALUSTRIS	-	-	-	-
(Symbol)			PIN OAK	-	-	-	-
(Symbol)			EXISTING TREE TO REMAIN	-	-	-	-

LANDSCAPE REQUIREMENTS		
DESCRIPTION	REQUIRED	PROVIDED
§ 408.4: PLANTING BEDS OF MINIMUM TEN (10) FEET WIDE WITH ONE (1) SHADE TREE OF 3-INCH CALIPER SHALL BE PROVIDED BETWEEN PARKING AREAS AND BUILDINGS.	YES	NO *
§ 408.4.A: NO MORE THAN TWELVE (12) PARKING SPACES SHALL BE ALLOWED IN A CONTINUOUS ROW.	YES	YES
RAISED PLANTING BEDS SHALL BE A MINIMUM OF FIVE (5) FEET IN WIDTH AND BE PLANTED WITH AT LEAST ONE (1) SHADE TREE OF 3-INCH CALIPER.	YES	YES
§ 408.4.B: PLANTING BEDS OF MINIMUM 5-FEET WIDE WITH ONE (1) SHADE TREE OF 3-INCH CALIPER SHALL BE PROVIDED FOR EVERY THIRTY (30) LINEAL FEET OF PERIMETER PARKING AREAS. WEST: 210 LF OF PARKING + 30 LF =	7 TREES	7 TREES
NO LESS THAN TEN PERCENT (10%) OF ANY PARKING AREA OVER ONE-THOUSAND (1,000) SQUARE FEET SHALL BE LANDSCAPED. 25,598 SF OF PARKING AREA x 10% =	2,560 SF	3,372 SF
§ 410.5.E: A BUFFER SCREEN OF AT LEAST TWENTY-FIVE (25) FEET IN WIDTH SHALL BE PROVIDED ALONG ANY RESIDENTIAL LOT IN THE CASE OF ANY CONDITIONAL USE.	YES	YES - NORTH
§ 410.5.F: A LANDSCAPE STRIP AT LEAST TWENTY-FIVE (25) FEET IN WIDTH SHALL BE REQUIRED AT PERIMETER LOT LINES, FOR ANY NON-RESIDENTIAL CONDITIONAL USE. WEST (LOT FRONTAGE): SOUTH (ABUTTING DOLLAR GENERAL): EAST (LEASE LINE):	25 FEET 25 FEET N/A	20 FEET * 22 FEET * N/A
THE LANDSCAPE STRIP SHALL INCLUDE AT LEAST ONE (1) DECIDUOUS TREE FOR EVERY THIRTY (30) LINEAL FEET OF PERIMETER LOT LINE. 244.29' (N) + 278.37' (W) + 243.42' (S) = 766.08' 766.08 LF ÷ 30 =	25.53 TREES	26 TREES 1 EXISTING 25 NEW
* § 410.6: WHERE IT IS DETERMINED THAT A PROPOSED USE WOULD NOT HAVE SIGNIFICANT IMPACT ON THE NATURAL ENVIRONMENT, ADJOINING LANDOWNERS OR THE VIEW FROM A PUBLIC HIGHWAY, THESE REQUIREMENTS MAY BE APPROPRIATELY MODIFIED.		

TICKET No.: 20231313744

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- GENERAL NOTES**
- ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION EXCEPT WHERE OTHER PLANT MATERIAL IS CALLED FOR.
 - ALL HEAVILY PLANTED AREAS TO RECEIVE AUTOMATIC PERMANENT IRRIGATION. CONTRACTOR TO PROVIDE DESIGN DRAWINGS FOR APPROVAL PRIOR TO INSTALLATION.
 - GRASS & IRRIGATION TO EXTEND FROM PROPERTY LINES TO BACK OF LOCAL SIDEWALKS AND/OR CURBS.
 - INSTALL 1 1/2" DIA. PVC PIPE SLEEVES WHERE IRRIGATION LINES CROSS OR ARE UNDER PAVEMENT.
 - FOR ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN WHETHER ON OR OFF SITE, REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., THEN SCARIFY AREA, RESEED, AND FERTILIZE. R.O.W., CURB AND GUTTERS ARE TO BE CLEANED OF DEBRIS.
 - FINISHED GRADES IN LANDSCAPE ISLANDS SHALL BE INSTALLED SO THAT THEY ARE 1" LOWER THAN THE TOP OF THE SURROUNDING CURB.
 - PROVIDE A WEED MAT FOR ALL PLANTING AREAS.
 - FOR ANY TREE LOCATED NEAR A DRIVEWAY, PRUNE LOWER BRANCHES TO PROVIDE A MINIMUM 10'-0" HIGH CLEAR SIGHT LINE FROM GRADE.
 - FOR EXISTING VEGETATION TO BE REMOVED, SEE DEMOLITION PLAN (D1.0).

- GENERAL IRRIGATION NOTES**
- CONTRACTOR TO PROVIDE DESIGN DRAWINGS FOR APPROVAL PRIOR TO INSTALLATION.
 - IRRIGATION TO EXTEND FROM PROPERTY LINES TO BACK OF TOWNSHIP SIDEWALKS AND/OR CURBS.
 - INSTALL 1 1/2" DIA. PVC PIPE SLEEVES WHERE IRRIGATION LINES CROSS OR ARE UNDER PAVEMENT.
 - IRRIGATION SYSTEM SUPPLY LINE TO COME FROM DOMESTIC SERVICE LINE, DOWNSTREAM OF METER.

Owner/Developer: **AutoZone Development, LLC**
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Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
For Bidding & Contractor Information Contact: F.W. Dodge Plan Room Tel: (615) 884-1017

PREPARED FOR: **AutoZone**
Store No.: 6887
550 ROUTE 6 & 209
TOWNSHIP OF MILFORD, COUNTY OF PIKE
COMMONWEALTH OF PENNSYLVANIA

LANDSCAPE PLAN

SCALE: 1" = 20'-0"

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DRAFTSMAN: CWT
CHECKED BY: CAD
DATE: 11-13-2025
PROTOTYPE SIZE: 7x2-L

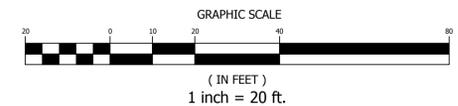
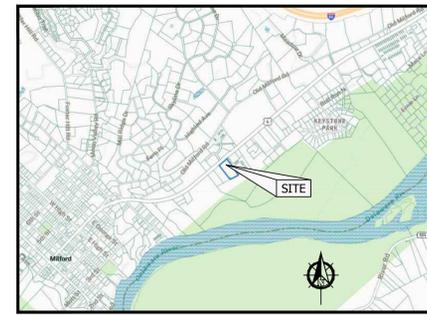
REGISTERED PROFESSIONAL ENGINEER
PENNSYLVANIA
THOMAS A DEANGELO

L1.0
Sheet 17 of 22

Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	A	6	Lithonia Lighting	WallPack DSXW1 LED 10C 1000 40K T3M MVOLT	DSXW1 LED WITH 1 LIGHT ENGINE, 10 LED's, 1000mA DRIVER, 4000K LED, TYPE 3 MEDIUM OPTIC	1	3043	0.95	40
	B	2	Lithonia Lighting	DSX1 LED P8 40K T4M MVOLT	DSX1 LED P8 40K T4M MVOLT	1	23740	0.95	207
	J	1	Lithonia Lighting	DSX1 LED P8 40K T4M MVOLT	DSX1 LED P8 40K T4M MVOLT	1	23740	0.95	414
	F	1	Lithonia Lighting	DSX1 LED P8 40K T4M MVOLT HS	DSX1 LED P8 40K T4M MVOLT with houseside shield	1	18424	0.95	207

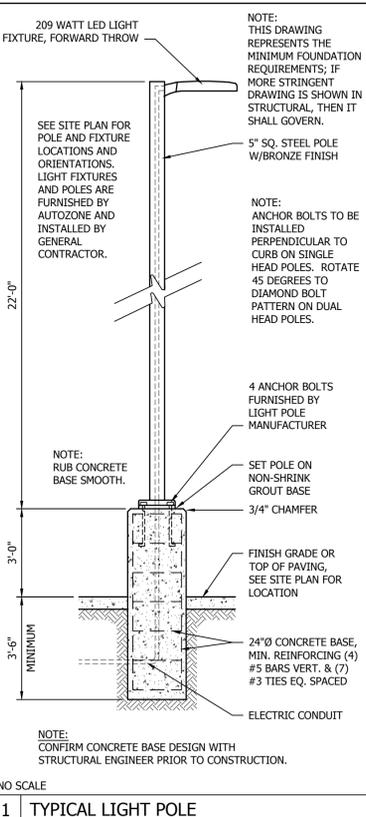
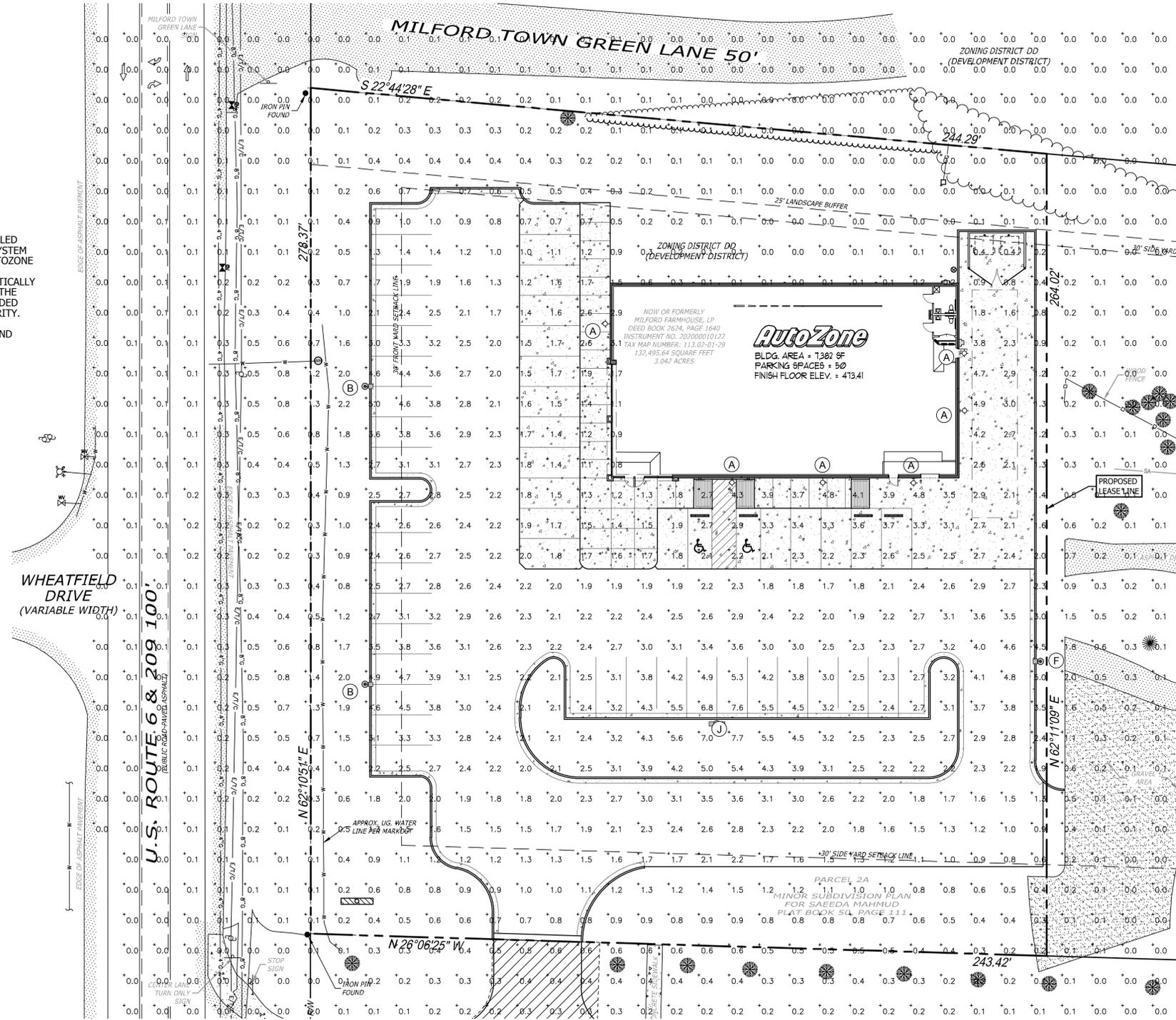
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Stat Zone #	+	1.2 fc	7.7 fc	0.1 fc	77.0:1	12.0:1
Calc Zone #2	+	0.9 fc	7.7 fc	0.0 fc	N/A	N/A

NOTE:
PHOTOMETRICS PROVIDED BY AUTOZONE DEVELOPMENT, LLC. CHANGES TO POLE LOCATION, FIXTURE, AND WATTAGE WILL AFFECT FINAL RESULTS.



TICKET No.: 20231313744
CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776

- LIGHTING NOTES:**
- TIME CONTROLS: ALL SITE LIGHTING IS CONTROLLED AND MONITORED BY AN ENERGY MANAGEMENT SYSTEM CALLED VENSTAR, WHICH IS CONTROLLED AT AUTOZONE CORPORATE OFFICES. ALL SITE LIGHTING IS PROGRAMMED TO AUTOMATICALLY TURN ON AT DUSK AND REDUCED BY 50% AFTER THE CLOSE OF BUSINESS TO THE MINIMUM LEVEL NEEDED UNDER THE IESNA TO ENSURE SAFETY AND SECURITY.
 - ALL FIXTURES ARE FULL CUTOFF DISTRIBUTION AND MOUNTED AT 0° DOWN POSITION.
 - NO FLOODLIGHTS ARE PROPOSED.



D-Series Size 1 LED Wall Luminaire

Specifications
Width: 13.314" (338.0mm) | Weight: 12 lbs (5.4kg) | Depth: 10" (254.0mm) | Height: 6.318" (161.8mm)

Back Box (BBW, E20WC)
Width: 13.314" (338.0mm) | Weight: 8 lbs (3.6kg) | Depth: 4" (101.6mm) | Height: 6.318" (161.8mm)

Ordering Information

Series	LEDs	Color Temp	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C (1000lm)	40K	T3M	120V	Flush	None

Accessories

- DSXW1 LED: Non-adjustable beam spread
- DSXW1 LED: Non-adjustable beam spread
- DSXW1 LED: Non-adjustable beam spread

D-Series Size 1 LED Area Luminaire

Specifications
Width: 13.314" (338.0mm) | Weight: 27 lbs (12.2kg) | Depth: 10" (254.0mm) | Height: 7.125" (180.0mm)

Ordering Information

Series	LEDs	Color Temp	Distribution	Voltage	Mounting	Control Options
DSX1 LED	P7 (40K)	40K	T3M	120V	Flush	None

Accessories

- DSX1 LED: Non-adjustable beam spread
- DSX1 LED: Non-adjustable beam spread
- DSX1 LED: Non-adjustable beam spread

Owner/Developer: **AutoZone Development, LLC**
120 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
For Bidding & Contractor Information Contact: F.W. Dodge Plan Room Tel: (615) 884-1017

PREPARED FOR: **AutoZone**
Store No.: 6887
550 ROUTE 6 & 209
TOWNSHIP OF MILFORD, COUNTY OF PIKE
COMMONWEALTH OF PENNSYLVANIA

PHOTOMETRIC LIGHTING PLAN

SCALE: 1" = 20'-0"

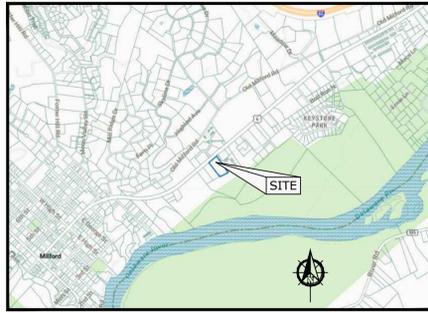
REVISIONS

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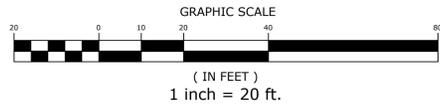
DRAFTSMAN: CWT
CHECKED BY: CAD
DATE: 11-13-2025
PROTOTYPE SIZE: 7x2-L

THOMAS A. DEANGELO
REGISTERED PROFESSIONAL ENGINEER
PENNSYLVANIA

PH1.0
Sheet 18 of 22



SITE LOCATION MAP
SCALE: 1" = 1,500'



UTILITY SERVICE INFORMATION

GAS SERVICE
UGI UTILITIES, INC.
P.O. BOX 13009
READING, PA 19612
(570) 407-8858
MS. MICHELLE BENSON
mbenson@ugi.com

ELECTRIC SERVICE
PIKE COUNTY LIGHT AND
POWER COMPANY
150 SCHNEIDER LANE
MILFORD, PA 18337
855-855-2050, EXT. 355
NICOLE HERMAN
nherman@PCLPEG.com

SANITARY SEWER
ON-LOT SEPTIC SYSTEM
MILFORD TOWNSHIP
560 ROUTE 6 & 209
MILFORD, PA 18337
(570) 618-9133
MR ROBERT DI LORENZO, SEO

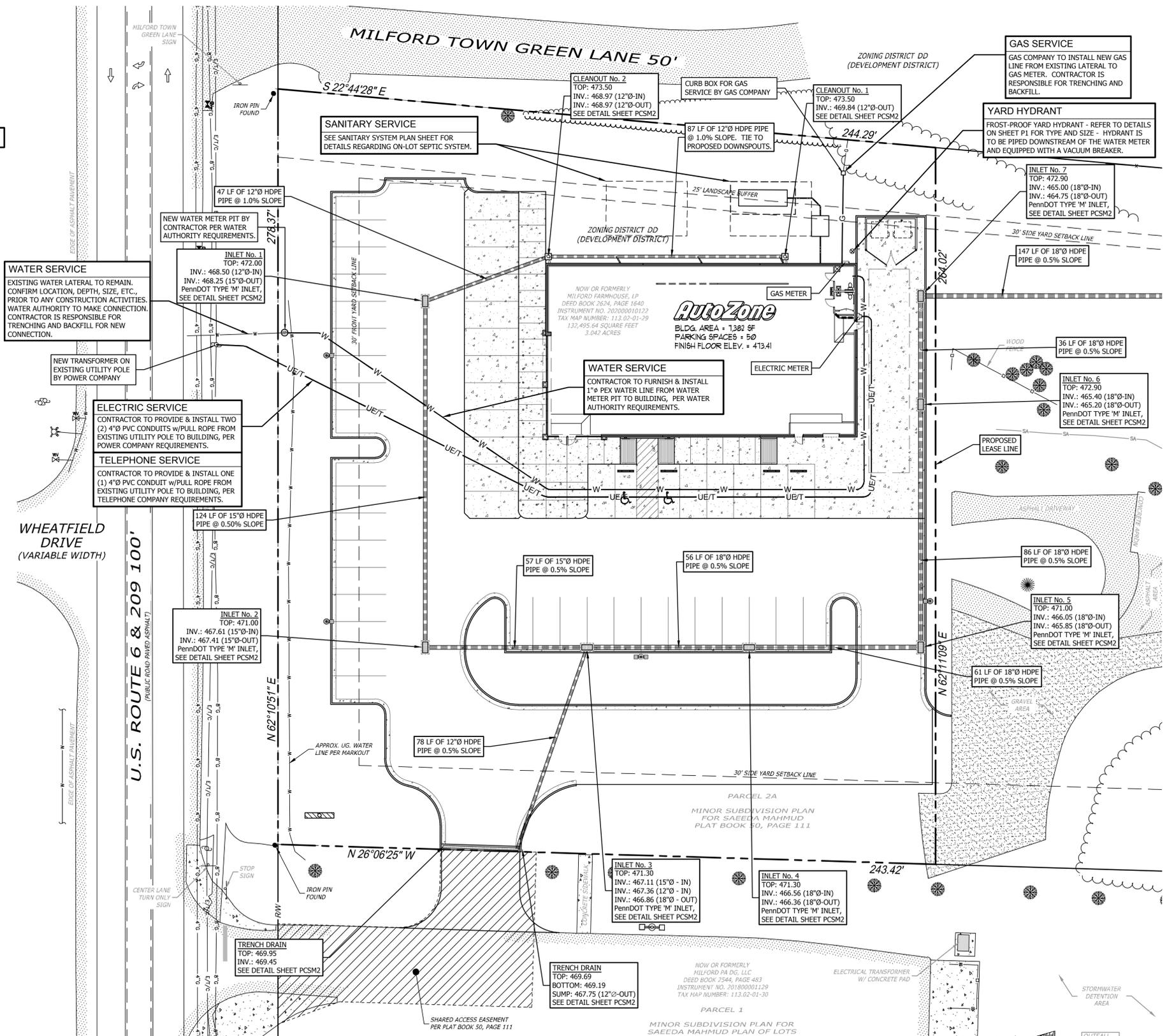
STORMWATER
MILFORD TOWNSHIP
560 ROUTE 6 & 209
MILFORD, PA 18337
(570) 296-7140
MR. MICHAEL McCAFFREY,
ZONING OFFICER
milfordzoningofficer@gmail.com

TELEPHONE SERVICE
VERIZON NORTH
31 SOUTH BEAVER STREET
YORK, PA 17401
(570) 348-5912
MR. TOM HARTMAN
thartman@verizon.com

WATER SERVICE
MILFORD BOROUGH MUNICIPAL
AUTHORITY
151 OLD OWEGO TURNPIKE
MILFORD, PA 18337
(570) 296-6556
MR. NICK MAY
nmay@milfordpawater.com

GENERAL UTILITY NOTES

- CONTRACTOR SHALL CONTACT RESPECTIVE UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, TO COORDINATE REQUIREMENTS TO ENSURE TIMELY SERVICE INSTALLATION.
- PROPER COORDINATION WITH THE RESPECTIVE UTILITY COMPANIES SHALL BE PERFORMED BY THE CONTRACTOR TO INSURE THAT ALL UTILITY COMPANY, LOCAL MUNICIPALITY, AND LOCAL COUNTY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS EXISTING UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE OWNER IN THE EVENT OF ANY UNFORESSEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
- THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS AND MAIN AND SERVICE RELOCATIONS. THE CONTRACTOR SHALL COORDINATE THE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL SECURE ALL PERMITS AND PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION, AS NECESSARY.
- THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS, ETC. WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNER, UTILITY COMPANIES, AND GOVERNING AUTHORITIES. THE CONTRACTOR SHALL INSTALL AS NECESSARY, TEMPORARY SITE LIGHTING, GAS, SANITARY, WATER, STORM, ELECTRIC, TELEPHONE, AND CABLE SERVICES TO SERVICE BUILDING(S) TO REMAIN OPEN.
- ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT AND REPLACED IN ACCORDANCE WITH THE DETAILS CONTAINED HEREIN. REQUIREMENTS OF LOCAL MUNICIPALITY AND THE DETAILS CONTAINED HEREIN.
- ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERALS SHALL CONFORM TO THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, APPLICABLE COUNTY AND LOCAL DEPARTMENTS, AND APPROPRIATE UTILITY COMPANY SPECIFICATIONS.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- TEST PITS SHALL BE SHOWN AT ALL UTILITY CROSSINGS AND AT THE POINTS OF CONNECTION TO EXISTING WATER MAINS. AT LEAST 10 DAYS PRIOR TO CONSTRUCTION ACTIVITY THE CONTRACTOR MUST OBTAIN THE TEST PIT DATA AND COORDINATE WITH THE INSPECTOR. IF THE TEST RESULTS SHOW A POTENTIAL CONFLICT OR NON-COMPLIANCE WITH THE APPROVED PLAN, REVISIONS TO THE PLANS MUST BE SUBMITTED FOR APPROVAL. IN SUCH INSTANCES, NO WORK SHALL COMMENCE UNTIL CONFLICTS ARE RESOLVED AND REVISIONS APPROVED.
- RELOCATION OF ANY UTILITY COMPANY FACILITIES TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY AND LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL COMPACT PIPE BACKFILL IN MAX. 8" LOOSE LIFTS TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557, ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION.
- CONTRACTOR TO PROVIDE SLEEVES UNDER FOOTINGS OR THROUGH FOUNDATIONS FOR UTILITY CONNECTIONS.
- CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC. AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING/CANOPY STUB-OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
- UTILITY CONDUIT PIPE SHALL BE SCHEDULE 80 PVC AND/OR AS REQUIRED BY THE LOCAL UTILITY COMPANY. SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 12" CLEAR SPACE BETWEEN SERVICES. MINIMUM COVER SHALL BE 36" ON ELECTRIC CONDUITS AND 24" ON TELEPHONE AND CABLE CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL HAND HOLES AS REQUIRED.
- ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION PRIOR TO APPROVAL FOR BACKFILL, IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY, LOCAL MUNICIPALITY, AND/OR LOCAL COUNTY REQUIREMENTS.
- MANHOLE RIMS AND STORM INLETS SHALL BE SET TO ELEVATIONS SHOWN. ADJUST ALL EXISTING MANHOLE FRAMES AND COVERS, STORM INLET GRATES, VALVE BOXES, ETC., TO BE RAISED OR LOWERED, TO PROPOSED FINISHED GRADE, FLUSH WITH THE ADJACENT GRADE.
- THE CONTRACTOR SHALL RESTORE ANY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. DISTURBED DURING CONSTRUCTION TO THE ORIGINAL CONDITION OR BETTER.
- UNLESS OTHERWISE INDICATED ON THE DRAWINGS, ALL SANITARY SEWER PIPING SHALL BE POLYVINYL CHLORIDE (PVC) PIPE AND FITTINGS ASTM D3034, TYPE PSM WITH A MAXIMUM SDR OF 35, WITH FLEXIBLE ELASTOMERIC SEAL JOINTS, ASTM D3212.
- ALL SANITARY SEWER PIPING SHALL HAVE A MINIMUM OF 6" OF COARSE AGGREGATE BEDDING.
- THE CONTRACTOR SHALL CONTACT THE LOCAL COUNTY HEALTH DEPARTMENT AND FILE AND OBTAIN A PLUMBING PERMIT FOR THE WORK INDICATED HEREON AND COMPLIANCE WITH THE LOCAL COUNTY PLUMBING CODE.
- OBTAIN REQUIRED SANITARY SEWER CONNECTION PERMIT AND PAY ALL CONNECTION AND TAPPING FEES BEFORE CONNECTING ANY NEW SEWER LINE TO THE AUTHORITY'S SEWER LINES (FEES TO BE PAID BY OWNER).
- WATER LINE AFTER WATER METER SHALL BE ENCASED IN 4" SCH. 40 PVC CONDUIT UNDER ALL CONCRETE OR ASPHALT SURFACES AND TO 1" ABOVE FINISHED FLOOR.
- THE CONTRACTOR SHALL BE ADVISED THAT ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THAT IT SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE CONSTRUCTION AS DESIGNED. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL UNABLE TO BE PLACED ON SITE AND THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE JOB.
- COORDINATE INSTALLATION OF LOT LIGHTS, TREES, SIGNS, ETC., WITH PROPOSED UNDERGROUND UTILITIES. CONTACT OWNER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- GENERAL CONTRACTOR SHALL SECURE UTILITY PERMIT FROM PennDOT DISTRICT OFFICE FOR ANY WORK WITHIN PennDOT RIGHT-OF-WAY.



UTILITY LEGEND

- EXISTING UTILITY POLE
- NEW ELECTRIC METER
- NEW GAS METER
- NEW WATER METER PIT
- NEW WATER SERVICE
- NEW GAS SERVICE
- NEW SANITARY SEWER
- NEW SANITARY SEWER CLEANOUT
- NEW UNDERGROUND ELECTRIC & TELEPHONE SERVICE
- NEW STORM SEWER

- NOTES:**
- CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING UTILITY SERVICE WITH EACH UTILITY COMPANY.
 - CONTRACTOR TO BE RESPONSIBLE FOR STREET BORE, IF REQUIRED BY LOCAL AUTHORITY.
 - AUTOZONE TO REIMBURSE GENERAL CONTRACTOR FOR ALL SANITARY SEWER, GAS, AND WATER TAP FEES.
 - ALL NEW UTILITIES ARE TO BE INSTALLED UNDERGROUND.

Dig Serial No.: 20232001230
Design Serial No.: 20232001305

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3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE - STOP CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.

1-800-242-1776

Owner / Developer:
AutoZone Development, LLC
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
For Bidding & Contractor Information Contact:
F. W. Dodge Plan Room Tel: (615) 884-1017



PREPARED FOR:
AutoZone
Store No.: 6887
550 ROUTE 6 & 209
TOWNSHIP OF MILFORD, COUNTY OF PIKE
COMMONWEALTH OF PENNSYLVANIA

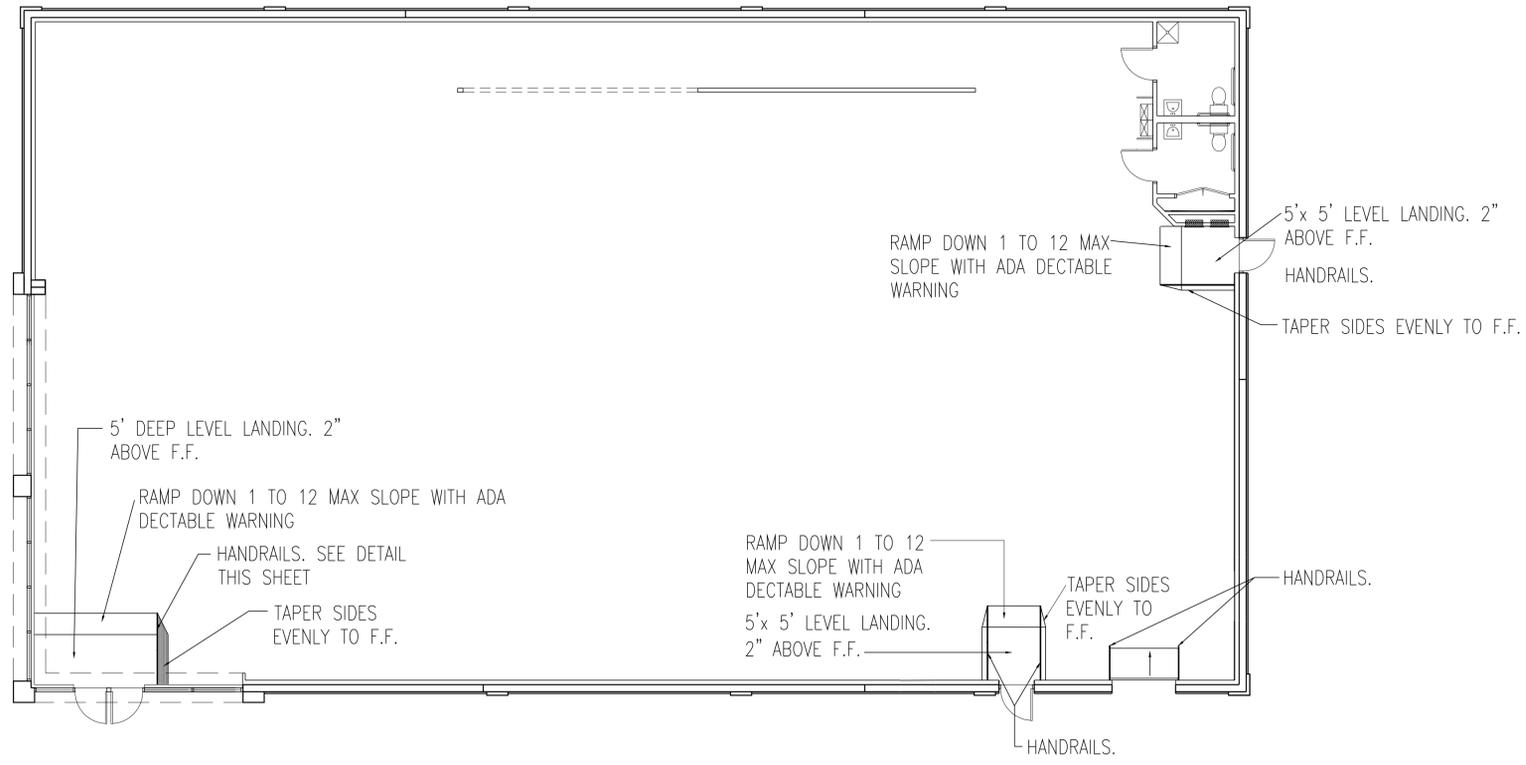
SITE UTILITY PLAN

SCALE: 1" = 20'-0"

REVISIONS

NO.	DATE	PER	COMMENTS
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Architect:
 123 South Front Street
 Memphis, Tennessee 38103
 TEL: 901-495-6500 FAX: (901) 495-8969
 For Bidding & Contractor Information Contact:
 McGraw - Hill Construction Tel. 615-884-1017
 www.construction.com

AutoZone Store No. 6887
 550 ROUTE 6 & 209

MILFORD PA 18337

BUILDING RAMP PLAN

REVISIONS

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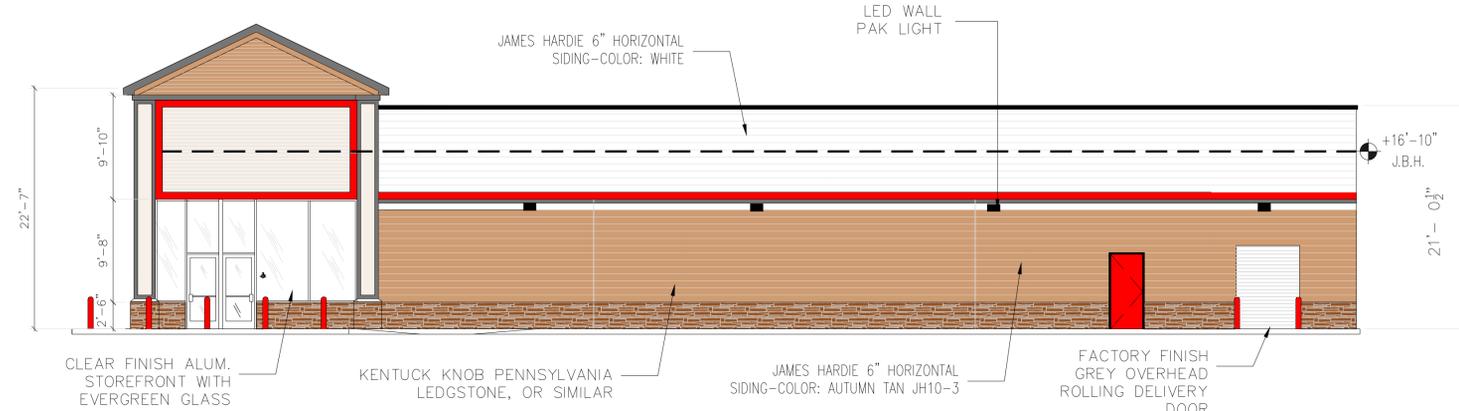
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FRONT WALL

SCALE: 1/8" = 1'-0"

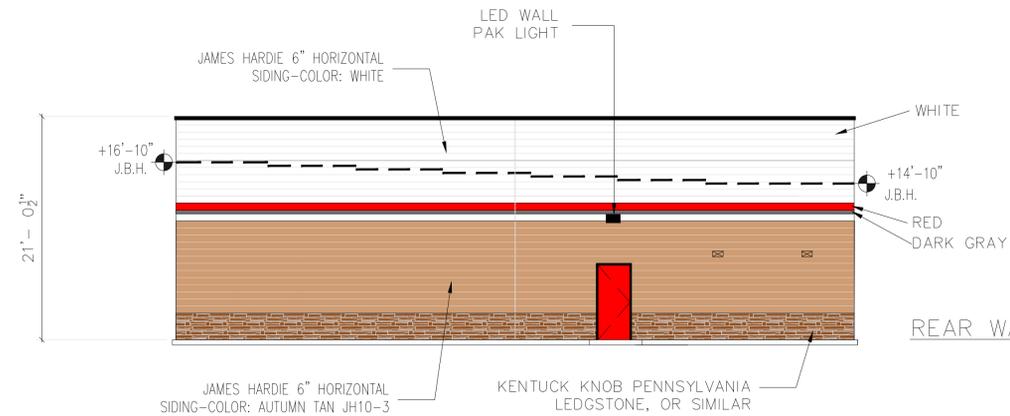
EXTERIOR ELEVATION - FRONT 1



RIGHT SIDE WALL (HIGH SIDE)

SCALE: 1/8" = 1'-0"

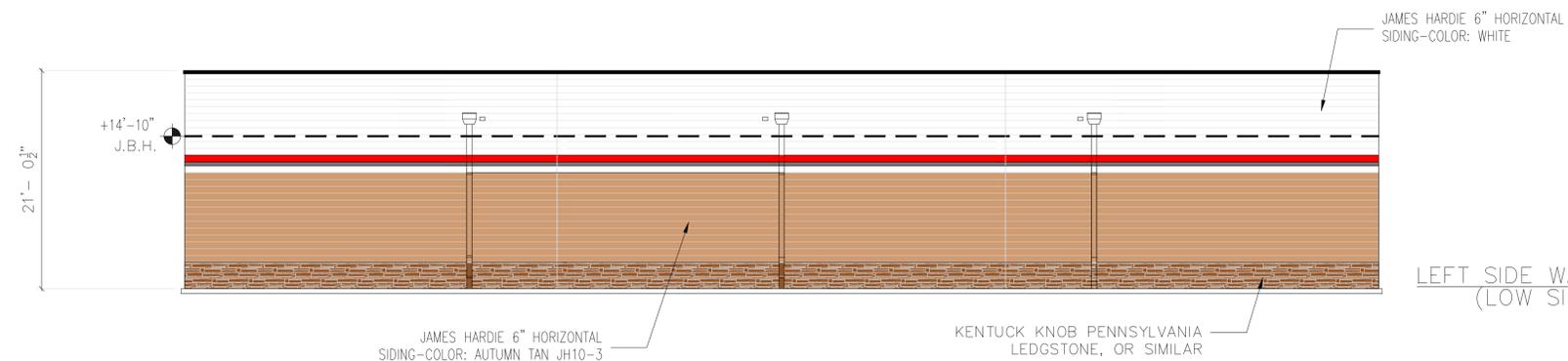
EXTERIOR ELEVATION - RIGHT SIDE 2



REAR WALL

SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION - REAR 3



LEFT SIDE WALL (LOW SIDE)

SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION - LEFT SIDE 4

REVISIONS

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2		5
3		6

AutoZone Store No. 6887
 550 RT 6

MILFORD PA 18337

COLOR ELEVATIONS

Architect: PHILLIP PECORD
 123 South Front Street
 Memphis, Tennessee 38103
 TEL: 901-495-8706 FAX: (901) 495-8969
 For Bidding & Contractor Information Contact:
 Dodge Data & Analytics, Tel. 1-844-326-3826 ext 9429
 Cindy.searcy@construction.com

01/30/25

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